



240 LORTON AVE

BURLINGAME, CALIFORNIA

PLANNING REVIEW RESPONSE "B"
SEPTEMBER 19, 2016

240 LORTON AVE

240 LORTON AVENUE
BURLINGAME CA, 94010

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No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUN 16	PLANNING PACKAGE
▲	17 AUG 16	PLANNING REVIEW RESPONSE "A"
▲	19 SEP 16	PLANNING REVIEW RESPONSE "B"

PROJECT DIRECTORY

OWNER / CONTRACTOR / OWNER CONSULTANTS

OWNER:	DLC 240 LORTON 999 BAKER WAY, SUITE 300 SAN MATEO, CA 94404 650 571-1010 ATTN: RYAN GUIBARA	PLUMBING ENGINEER:	TBD
CONTRACTOR:	TBD	GEOTECHNICAL ENGINEER:	CORNERSTONE EARTH GROUP 1259 OAKMEAD PARKWAY SUNNYVALE, CA 94085 408 245 4600 ATTN: BARRY BUTLET
MECHANICAL ENGINEER:	TBD		
ELECTRICAL ENGINEER:	HELIX COMPANY 7677 OAKPORT STREET, SUITE 1040 OAKLAND, CA 94621 510 632-9600 ATTN: TIM MAGGIORE		

ARCHITECT / CONSULTANTS

ARCHITECT:	MBH ARCHITECTS 960 ATLANTIC AVENUE ALAMEDA, CA 94501 510 865 8663 ATTN: KEN LIDICKER	SPECIFICATIONS:	RAEBER & ASSOCIATES 388 BEALE STREET, SUITE 1910 SAN FRANCISCO, CA 94105 415 920-2244 ATTN: JOHN A. RAEBER	PLUMBING PEER REVIEW ENGINEER:	SYSKA HENNESSY GROUP, INC. 425 CALIFORNIA STREET, SUITE 700 SAN FRANCISCO, CA 94103 415 288-5922 ATTN: SETH SHERMAN
STRUCTURAL ENGINEER:	ZFA STRUCTURAL ENGINEERS 100 BUSH STREET, SUITE 1850 SAN FRANCISCO, CA 94104 415 243-4091 x 205 ATTN: MATT FRANTZ	TITLE 24 CONSULTANT:	GABEL ASSOCIATES, LLC 1818 HARMON STREET BERKELEY, CA 94703 510 428-0803 ATTN: GINA RODDA		
CIVIL ENGINEER:	LUK & ASSOCIATES 738 ALFRED NOBEL DRIVE HERCULES, CA 94547 510 724-3388 ATTN: JACKIE LUK	MECHANICAL PEER REVIEW ENGINEER:	SYSKA HENNESSY GROUP, INC. 425 CALIFORNIA STREET, SUITE 700 SAN FRANCISCO, CA 94103 415 288-5922 ATTN: SETH SHERMAN		
LANDSCAPE:	JETT LANDSCAPE ARCHITECTURE + DESIGN 2 THEATRE SQUARE, SUITE 218 ORINDA, CA 94563 925 254-5422 ATTN: BRUCE JETT	ELECTRICAL PEER REVIEW ENGINEER:	SYSKA HENNESSY GROUP, INC. 800 CORPORATE POINTE, SUITE 200 CULVER CITY, CA 90230 310 254-3944 ATTN: HEYDAR MOGHADDAM		

Project	51017
Scale	N/A
Drawing Title	COVER SHEET, PROJECT DIRECTORY

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Drawing No.

A0.0.0

CITY OF BURLINGAME CONDITIONS

- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.
- AT THE TIME OF THE BUILDING PERMIT APPLICATION, PLANS AND ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2013 CBC, CHAPTER 31 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA, ON THE PLANS, INDICATE THAT THE FOLLOWING WILL BE ADDRESSED:
 - THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.
 - ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT OF THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT / WATER TABLE, FLATTER SLOPES WILL REQUIRE WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN FIELD.
 - IF SHORING IS REQUIRED, SPECIFY ON THE PLANS THE LICENSED DESIGN PROFESSIONAL THAT HAS SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.
 - SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.
 - SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND / OR DRIVEWAY SURCHARGE LOADS.
- AN OSHA PERMIT WILL BE OBTAINED FOR THE SHORING* AT THE EXCAVATION SITE PER CAL/OSHA REQUIREMENTS. REFER TO CAL/OSHA HANDBOOK, *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.
- A GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.

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FIRE PROTECTION NOTES

- SUBMIT SHOP DRAWINGS FOR FIRE PROTECTION/SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 AND LOCAL AMENDMENTS.
- DURING CONSTRUCTION MOUNT MINIMUM 2A-10BC RATED FIRE EXTINGUISHER(S) WITHIN 75 FEET OF ALL PORTIONS OF TENANT SPACE. FIRE EXTINGUISHER QUANTITY AND LOCATION(S) SHALL BE APPROVED BY THE FIRE INSPECTOR.
- EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH CALIFORNIA FIRE CODE AND LOCAL AMENDMENTS.
- SUBMIT SHOP DRAWINGS FOR FIRE-ALARM SYSTEM AND COMPLY WITH NFPA 72 AND LOCAL CODES.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS (SHOP DRAWINGS) SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE REVIEW AND COORDINATION BY THE ARCHITECT AND/OR ENGINEER OF RECORD; A SUBMITTAL MAY THEN BE MADE TO THE CITY OF BURLINGAME BUILDING DEPARTMENT FOR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD CALCULATIONS, ET.) WITH NO EXCEPTIONS.

DEFERRED SUBMITTALS:

- DEMOLITION/EXCAVATION/SHORING
- FIRE SPRINKLER
- SIGNAGE
- MECHANICAL, ELECTRICAL, PLUMBING

SITE ZONING ANALYSIS

APN: 029-211-200

SIZE OF PROPERTY: 7,006 SF

GENERAL PLAN / SITE ZONING: BURLINGAME AVENUE COMMERCIAL (BAC)

SETBACKS: (BAC) FRONT: 0'-0" SIDE: 0'-0" REAR: 0'-0"

MAX. HEIGHT: 55 FEET

PROJECT FOOTPRINT AREA: 5,530 SF

OPEN AREA: 2,423 SF

FLOOR AREA RATIO: 21,899 SF / 7,006 = 3.26

PROJECT DATA

LAND AREA
 7,006 SF
 0.07 ACRES

EXISTING BUILDING AREA
 6,406 SF (TWO STORIES)

NEW GROSS BUILDING AREA TOTALS FOR RETAIL AND OFFICE OCCUPANCIES ONLY

RETAIL GROSS SF	1,375 SF
OFFICE GROSS SF	13,801 SF
	15,176 SF

PARKING (GROUND, PIT) 2,441 SF

PARKING TABULATION

PARKING

RETAIL: NO RETAIL PARKING REQUIRED PER CHAPTER 25.70 OFF-STREET PARKING SECTION 25.70.090 (a) and (b).

OFFICE: 1 SPACE FOR EACH 300 SQUARE FEET OF FLOOR AREA

13,801 SQ. FT. OFFICE FLOOR AREA / 300 = 46 PARKING SPACES REQUIRED

PARKING SPACES PROVIDED:

PUZZLE LIFTS	14 SPACES
ACCESSIBLE SPACE	1 SPACE
TOTAL PARKING SPACED PROVIDED:	15 SPACES
TOTAL PARKING SPACES REQUIRED	46 SPACES

REQUIRED PROVIDED 46 PARKING SPACES REQUIRED - 15 PARKING SPACED PROVIDED 31 PARKING SPACES

NOTE: IN LIEU FEE WILL PAY FOR 31 PARKING SPACES.

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PROJECT INFORMATION

BUILDING ADDRESS: 240 LORTON AVENUE BURLINGAME, CA 94010

ASSESSORS PARCEL NO.: 029-211-200

EXISTING LAND USE: MERCANTILE

PROPOSED LAND USE: MERCANTILE AND BUSINESS

ZONING: BURLINGAME AVENUE COMMERCIAL (BAC)

LOT SIZE: 7,006 SF

OCCUPANCY TYPE: MERCANTILE GROUP M (RETAIL AREA) BUSINESS GROUP B (OFFICE AREA) STORAGE GROUP S-2 (OPEN PARKING GARAGE)

CONSTRUCTION TYPE: 4 STORIES TYPE III-B

GROSS BUILDING AREA: 21,899 SF

BUILDING HEIGHT: 55'-0" (MAXIMUM)

FIRE PROTECTION: FULLY AUTOMATED FIRE SPRINKLER SYSTEM PER NFPA 13

PROJECT DESCRIPTION

- EXISTING BUILDING TO BE COMPLETELY DEMOLISHED.
- CONSTRUCTION OF NEW FOUR STORY BUILDING WITH RETAIL, OFFICE LOBBY, AND TENANT PARKING AT THE GROUND FLOOR, AND THREE LEVELS OF OFFICE ABOVE.
- SIGNAGE UNDER A SEPARATE PERMIT.
- ALL PORTIONS OF THIS PROJECT ARE PRIVATELY FUNDED.

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APPLICABLE CODES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA BUILDING CODE.
- ALL NEW MECHANICAL WORK SHALL COMPLY WITH 2013 CALIFORNIA MECHANICAL CODE.
- ALL NEW PLUMBING WORK SHALL COMPLY WITH 2013 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS ADOPTED IN ORDINANCE 1889.
- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH 2013 CALIFORNIA ELECTRICAL CODE.
- ALL SPRINKLER WORK SHALL COMPLY WITH THE 2013 CALIFORNIA FIRE CODE.
- ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS.
- ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN).
- ALL NEW CONSTRUCTION SHALL COMPLY WITH CALIFORNIA DISABLED ACCESS REQUIREMENTS.



BUILDING CODE ANALYSIS

BUILDING TOTAL STORIES: 4 STORIES ABOVE GRADE PLANE

BUILDING HEIGHT: 55'-0"

HEIGHT OF HIGHEST OCCUPIED FLOOR: 42'-0" ±

GROSS BUILDING AREA: 21,899 SF

SITE AREA: 7,006 SF

FIRE ALARM: NEW FIRE ALARM SYSTEM
 NEW MAIN PANEL
 NEW MANUAL PULL STATION
 NEW HORN STROBES
 NEW SMOKE DETECTORS
 NEW WATER FLOW ALARM

STANDPIPE: CLASS 1 STANDPIPE IN ACCORDANCE WITH CBC SECTION 905.3.1, EXCEPTION 1. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13.

FIRE FLOW CALCULATIONS: PLEASE REFER TO DESIGN/BUILD FIRE PROTECTION DRAWINGS FOR FIRE FLOW CALCULATIONS.

B
 BUSINESS

CONSTRUCTION:
 CONSTRUCTION TYPE: III-B
 STRUCTURAL FRAME: 2-HR
 BEARING WALLS EXTERIOR: 2-HR INTERIOR: 0-HR
 NON-BEARING WALLS EXTERIOR: 1-HR < 30', N.R. ELSEWHERE INTERIOR: 0-HR
 SHAFT ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4
 FLOOR CONSTRUCTION: 0-HR
 ROOF CONSTRUCTION: 0-HR
 CORRIDORS: 0-HR PER 2013 CBC SECTION 1018.1.3
 STAIR ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2

EXTERIOR WALL OPENINGS TABULATION: SEE SHEET A0.1.1

OCCUPANCY:
 OCCUPANCY SEPARATIONS: B / M = 0-HR B / S-2 = 1-HR

SPRINKLERS: FULLY SPRINKLERED BUILDING

BUILDING AREA
 BASIC ALLOWABLE At: 19,000 SF/STORY
 BUILDING AREA MODIFICATION Aa: Aa = (At + [At x Is] + [At x If])
 SPRINKLER INCREASE: At x Is = (19,000 x 2) = 38,000 SF
 BUILDING AREA MODIFICATION Aa: (19,000 + [38,000] + [38,000 X 0])= 57,000 SF
 ACTUAL: 21,899 SF

STORIES:
 ALLOWABLE: 3+1 STORIES
 PROVIDED: (4) STORIES

M
 RETAIL

CONSTRUCTION:
 CONSTRUCTION TYPE: III-B
 STRUCTURAL FRAME: 2-HR
 BEARING WALLS EXTERIOR: 2-HR INTERIOR: 0-HR
 NON-BEARING WALLS EXTERIOR: 2-HR < 5', 1-HR < 30', N.R. ELSEWHERE INTERIOR: 0-HR
 SHAFT ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4
 FLOOR CONSTRUCTION: 0-HR
 ROOF CONSTRUCTION: 0-HR
 CORRIDORS: 0-HR PER 2013 CBC SECTION 1018.1.3
 STAIR ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2

EXTERIOR WALL OPENINGS TABULATION: SEE SHEET A0.1.1

OCCUPANCY:
 OCCUPANCY SEPARATIONS: M / B = 0-HR M / S-2 = 1-HR

SPRINKLERS: FULLY SPRINKLERED BUILDING

BUILDING AREA
 BASIC ALLOWABLE At: 12,500 SF/STORY
 BUILDING AREA MODIFICATION Aa: Aa = (At + [At x Is] + [At x If])
 SPRINKLER INCREASE: At x Is = (12,500 x 2) = 25,000 SF
 BUILDING AREA MODIFICATION Aa: (12,500 + [25,000] + [26,000 X 0])= 37,500 SF
 ACTUAL: 21,899 SF

STORIES:
 ALLOWABLE: 2+1 STORIES
 PROVIDED: (1) STORY

S-2
 OPEN PARKING GARAGE

CONSTRUCTION:
 CONSTRUCTION TYPE: III-B
 STRUCTURAL FRAME: 2-HR
 BEARING WALLS EXTERIOR: 2-HR INTERIOR: 0-HR
 NON-BEARING WALLS EXTERIOR: 1-HR < 10', N.R. ELSEWHERE INTERIOR: 1-HR
 SHAFT ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4
 FLOOR CONSTRUCTION: 0-HR
 ROOF CONSTRUCTION: 0-HR
 CORRIDORS: 0-HR PER 2013 CBC SECTION 1018.1.3
 STAIR ENCLOSURES: 2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2

EXTERIOR WALL OPENINGS TABULATION: SEE SHEET A0.1.1

OCCUPANCY:
 OCCUPANCY SEPARATIONS: S-2 / M = 1-HR S-2 / B = 1-HR

SPRINKLERS: FULLY SPRINKLERED BUILDING

BUILDING AREA
 BASIC ALLOWABLE At: 26,000 SF/STORY
 BUILDING AREA MODIFICATION Aa: Aa = (At + [At x Is] + [At x If])
 SPRINKLER INCREASE: At x Is = (26,000 x 2) = 52,000 SF
 BUILDING AREA MODIFICATION Aa: (26,000 + [52,000 X 2] + [26,000 X 0])= 78,000 SF
 ACTUAL: 21,899 SF

STORIES:
 ALLOWABLE: 3+1 STORIES
 PROVIDED: (1) STORY

CONSTRUCTION HOURS

WEEKDAYS: 7:00 A.M. - 7:00 P.M.
 SATURDAYS: 9:00 A.M. - 6:00 P.M.
 SUNDAYS AND HOLIDAYS: 10:00 A.M. - 6:00 P.M.

(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

NOTE: CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS.

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240 LORTON AVE

240 LORTON AVENUE BURLINGAME CA, 94010

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No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUNE 16	PLANNING PACKAGE
	Date 5	90% CONSTRUCTION DOCUMENTS
△	17 AUG 16	PLANNING REVIEW RESPONSE "A"

Project	51017
Scale	N/A
Drawing Title	APPLICABLE CODES, PROJECT DESCRIPTION, CODE ANALYSIS

© 04/05/2017 1:46:11pm 2017 240Lorton-Avenue_2016.rvt
 Drawing No.

A0.1.0

SITE PLAN LEGEND

- PROPERTY LINE
- AREA OF ADJACENT PROPERTY, N.I.C.
- ▤ SIDEWALK
- ← ACCESSIBLE EXIT PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
- △

SITE PLAN NOTES

1. ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.



240 LORTON AVE

**240 LORTON AVENUE
BURLINGAME CA, 94010**

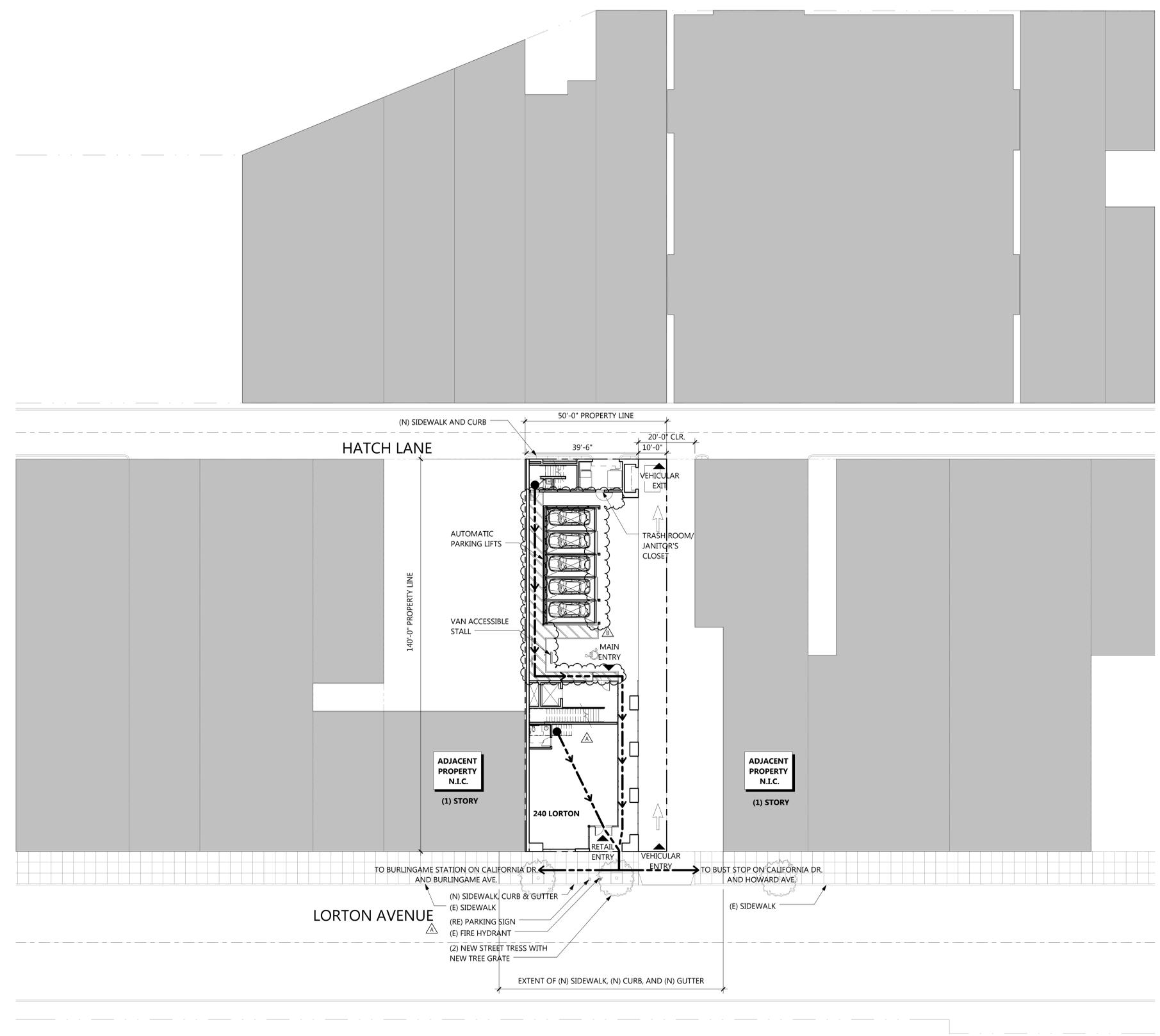
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	27 MAY 16	PRELIMINARY PLANNING PACKAGE
△	17 AUG 16	PLANNING REVIEW RESPONSE "A"
△	19 SEP 16	PLANNING REVIEW RESPONSE "B"

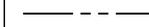
Project 51017
Scale 1/16" = 1'-0"
Drawing Title SITE PLAN

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Drawing No.

A1.0.0



FLOOR PLAN LEGEND

-  EARTH
-  PROPERTY LINE

240 LORTON AVE

**240 LORTON AVENUE
BURLINGAME CA, 94010**

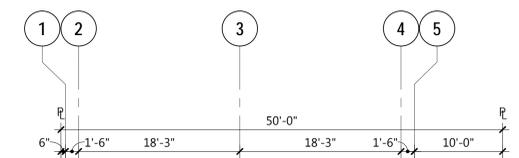
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<u>B</u>	19 SEP 16	PLANNING REVIEW RESPONSE "B"

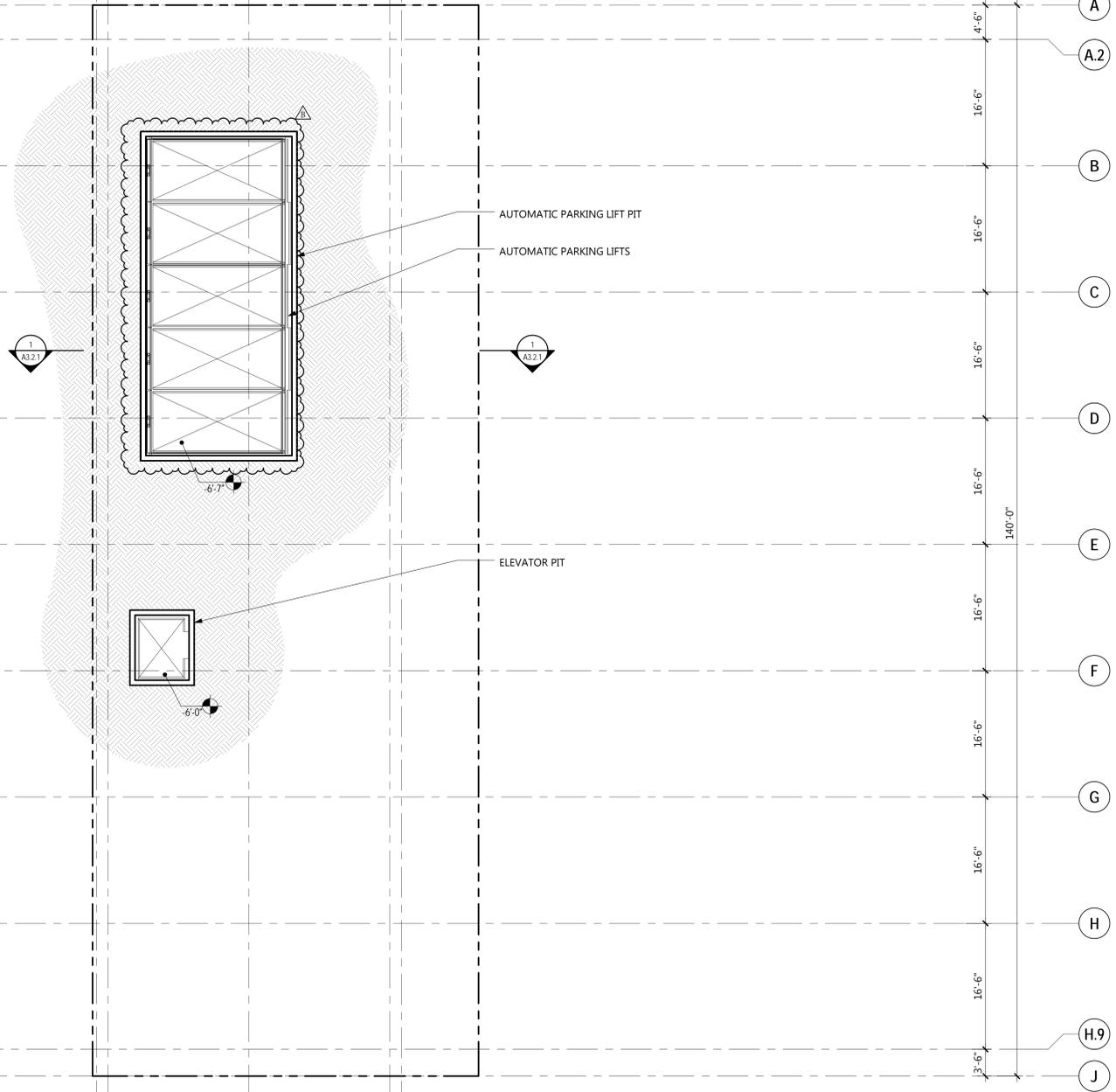
Project	51017
Scale	1/8" = 1'-0"
Drawing Title	PARKING PIT PLAN

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Drawing No.

A2.0.0



HATCH LANE ABOVE



LORTON AVENUE ABOVE



FLOOR PLAN LEGEND

-  PROPERTY LINE
-  2 HR ELEVATOR SHAFT / STAIR SHAFT
-  NON-VEHICULAR ACCESS
-  ACCESSIBLE VAN STALL
-  LEVEL LANDING SLOPE AND CROSS SLOPE (1:48 MAX. SLOPE)

FLOOR PLAN NOTES

1. ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.
2. IMPERVIOUS SURFACE AREA CALCULATION
EXISTING SITE IMPERVIOUS AREA: 7,006 SF
PROPOSED SITE IMPERVIOUS AREA: 7,006 SF
3. PERVIOUS SURFACE AREA CALCULATION
EXISTING PERVIOUS AREA: 0 SF
PROPOSED PERVIOUS AREA: 681 SF
SEE ROOF PLAN ON SHEET A2.0.5 FOR PROPOSED PERVIOUS AREA
4. NOTE: SEE SHEET A2.0.4 FOR PLANTING AT FOURTH FLOOR AND SHEET A2.0.5 ROOF PLAN FOR DIRECT ROOF RUNOFF ONTO VEGETATED AREAS.



240 LORTON AVE

**240 LORTON AVENUE
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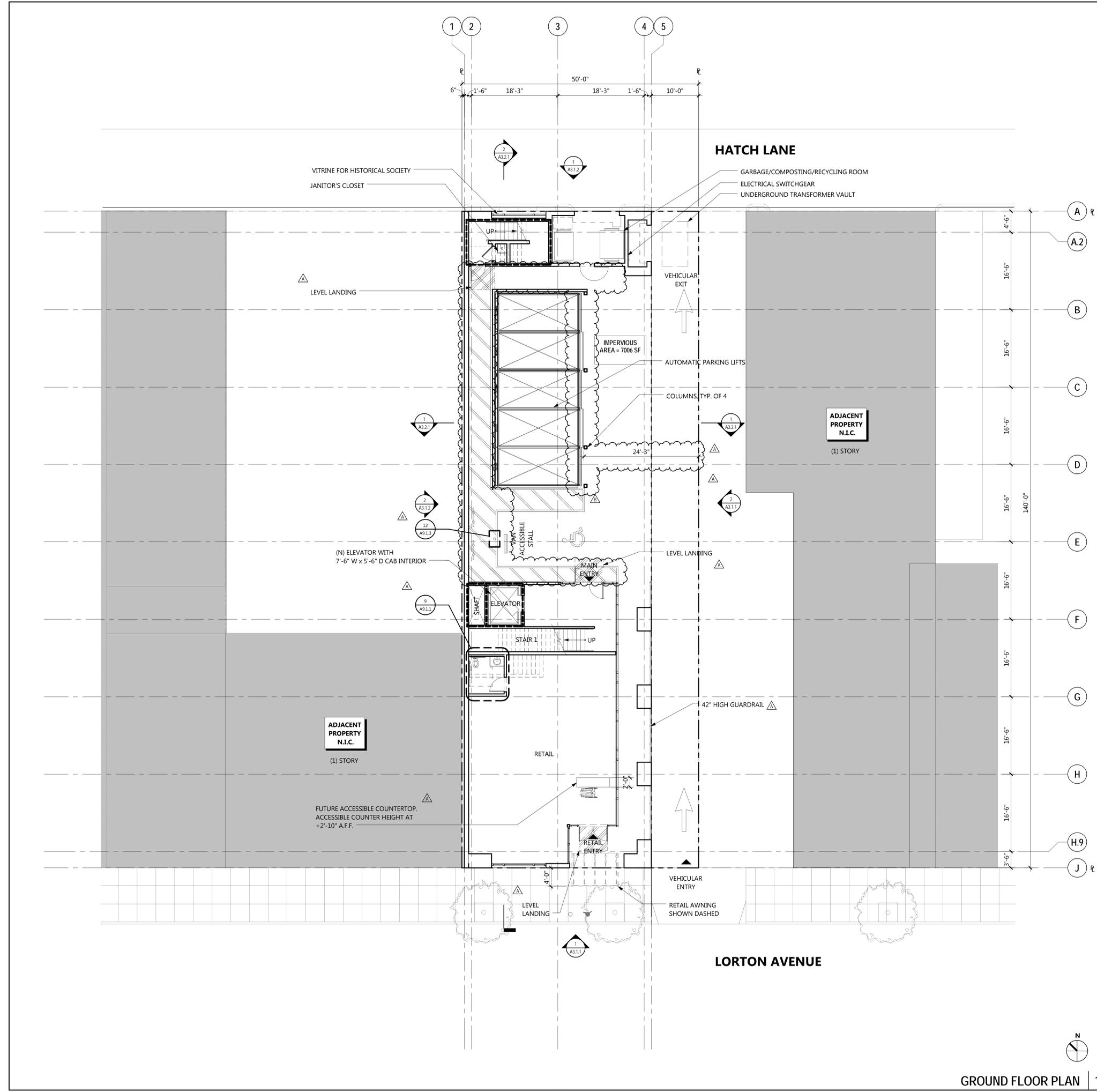
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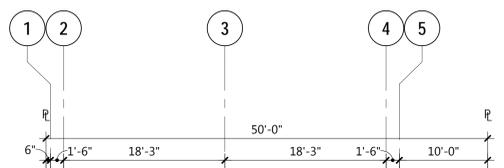
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Project	51017
Scale	1/8" = 1'-0"
Drawing Title	GROUND FLOOR PLAN

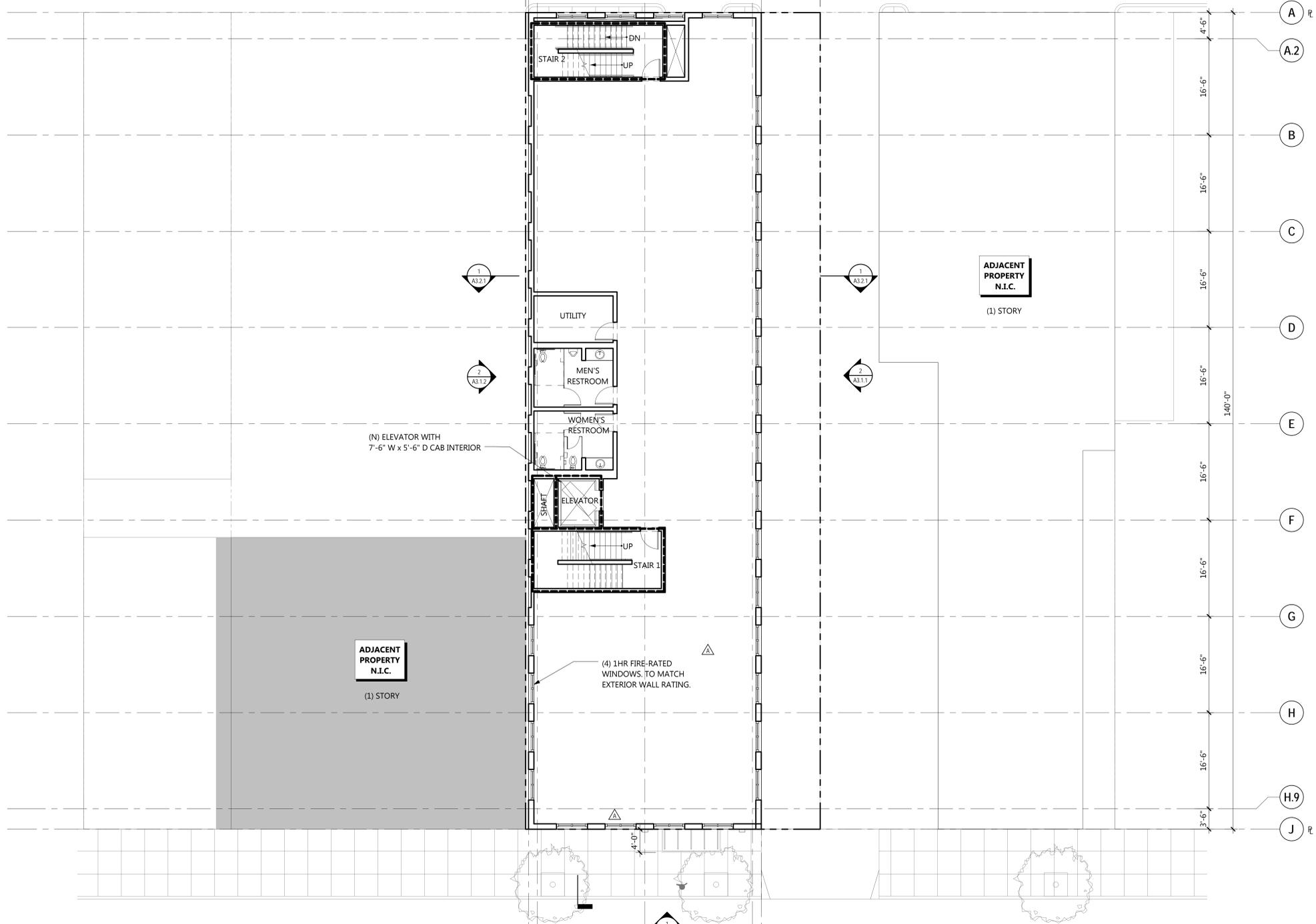
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Drawing No.

A2.0.1





HATCH LANE



(N) ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR

ADJACENT PROPERTY N.I.C. (1) STORY

(4) 1HR FIRE-RATED WINDOWS, TO MATCH EXTERIOR WALL RATING.

ADJACENT PROPERTY N.I.C. (1) STORY

FLOOR PLAN LEGEND

- PROPERTY LINE
- ==== 2 HR ELEVATOR SHAFT / STAIR SHAFT

FLOOR PLAN NOTES

- ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.

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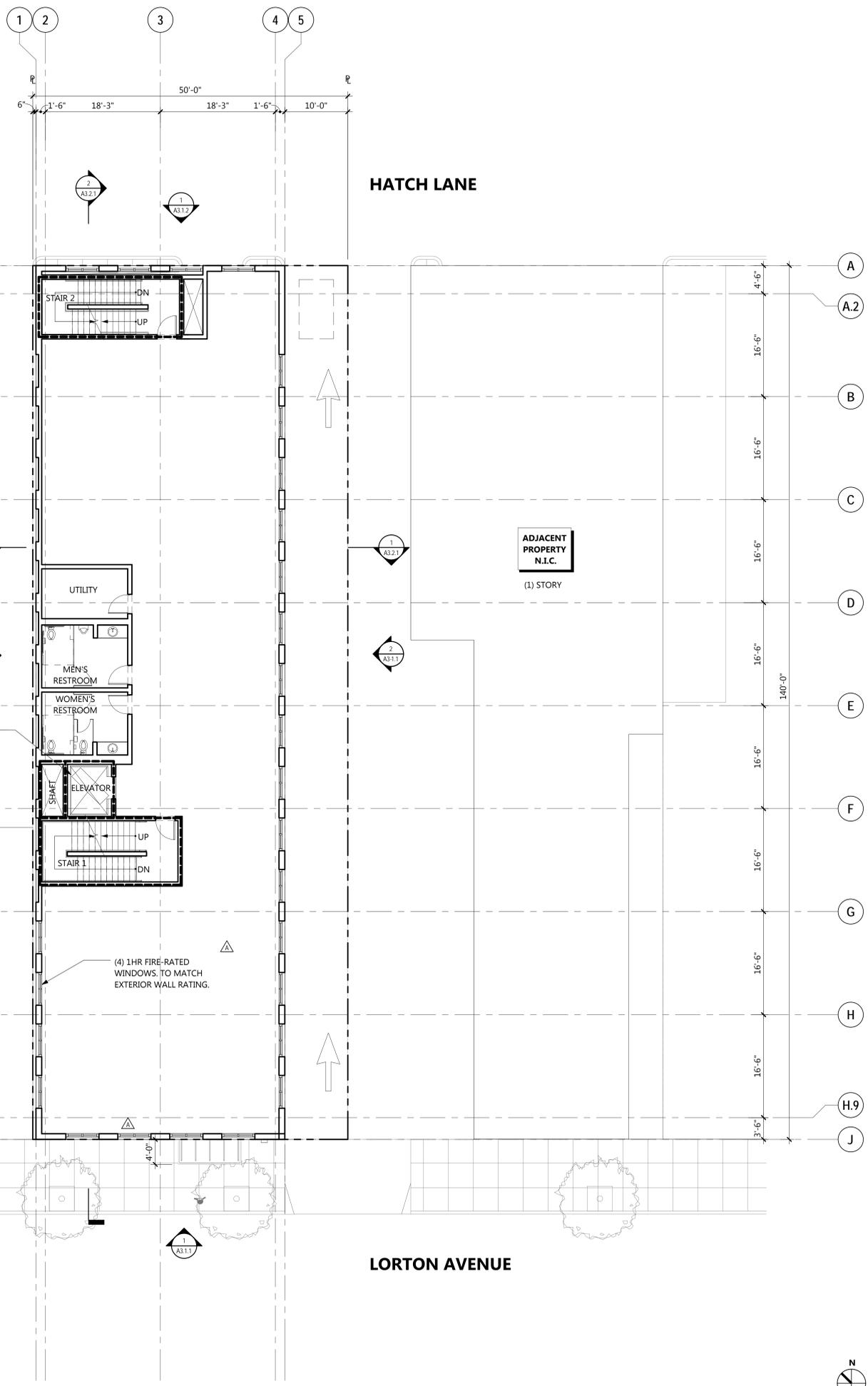
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Project	51017
Scale	1/8" = 1'-0"
Drawing Title	SECOND FLOOR PLAN

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Drawing No.

A2.0.2





FLOOR PLAN LEGEND

--- PROPERTY LINE

--- 2 HR ELEVATOR SHAFT / STAIR SHAFT

FLOOR PLAN NOTES

- ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.

240 LORTON AVE

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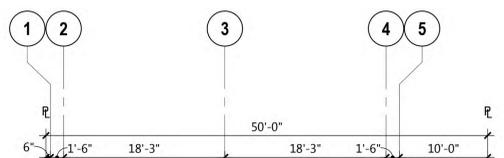
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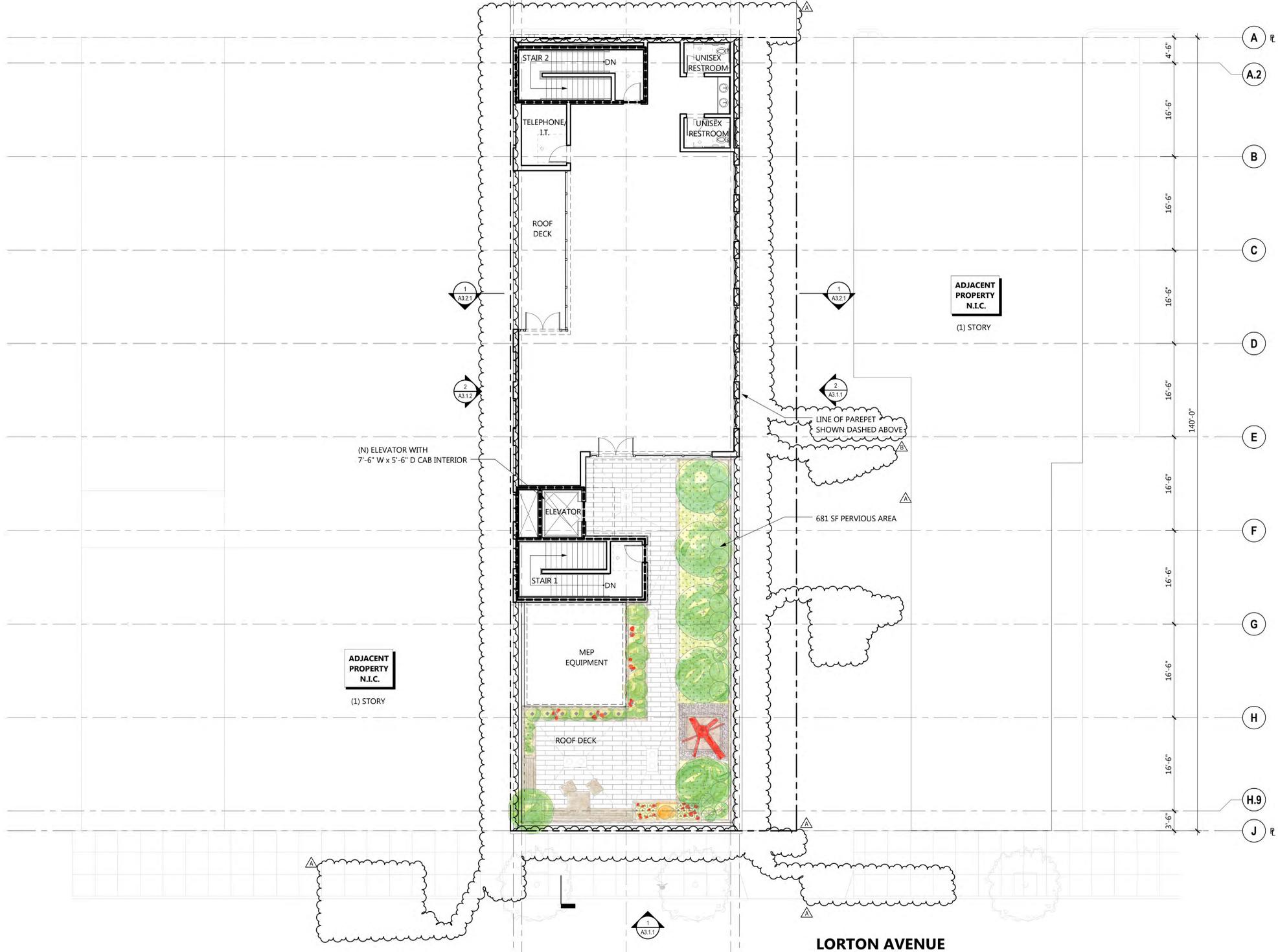
Project 51017
Scale 1/8" = 1'-0"
Drawing Title THIRD FLOOR PLAN

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Drawing No.

A2.0.3



HATCH LANE



FLOOR PLAN LEGEND

--- PROPERTY LINE

--- 2 HR ELEVATOR SHAFT / STAIR SHAFT

FLOOR PLAN NOTES

1. ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.

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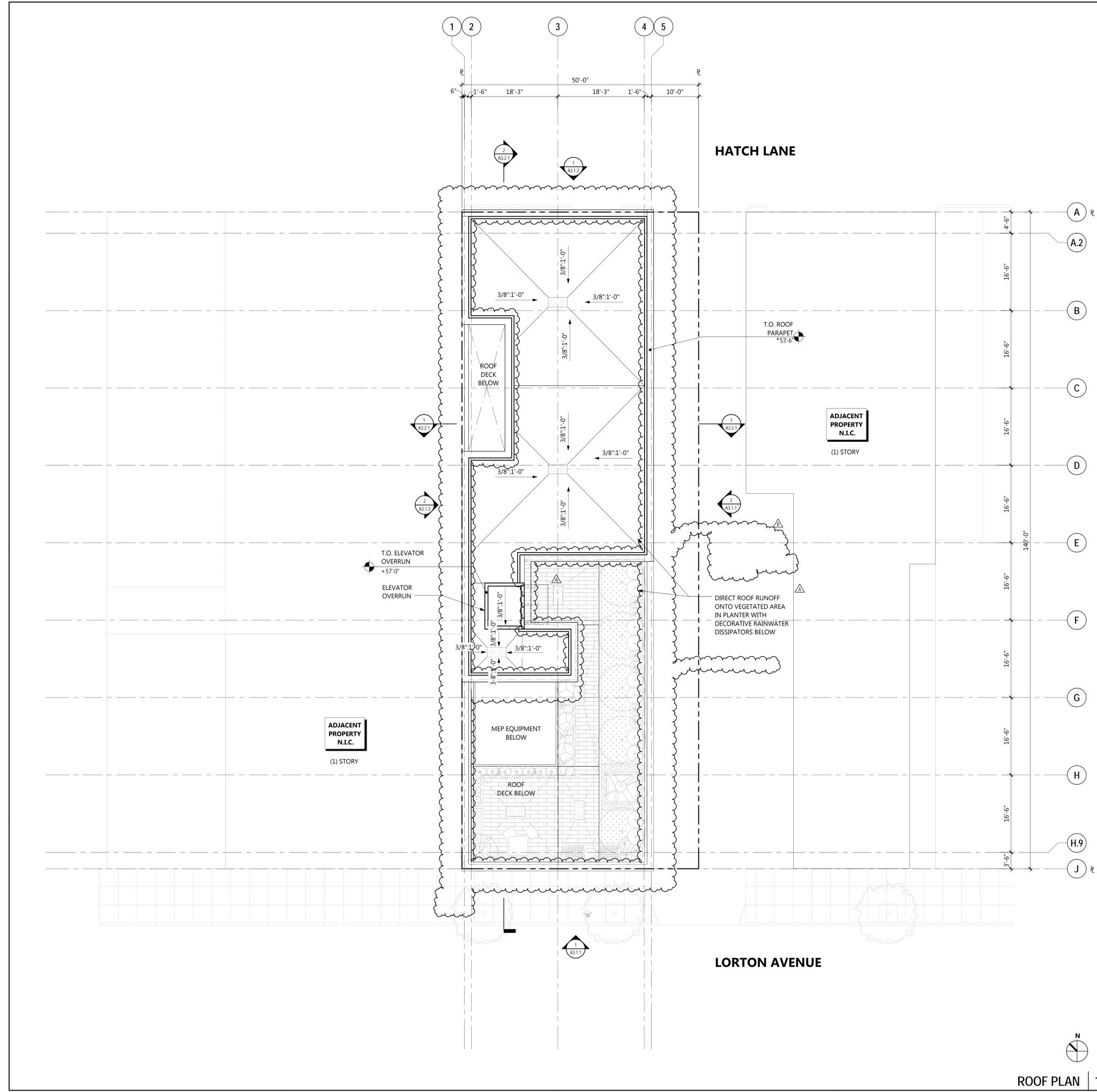
Project	51017
Scale	1/8" = 1'-0"
Drawing Title	FOURTH FLOOR PLAN

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Drawing No.

A2.0.4





ROOF PLAN LEGEND

--- PROPERTY LINE

--- 2 HR ELEVATOR SHAFT / STAIR SHAFT

(N) ROOF DRAIN, TYP. OF (3)

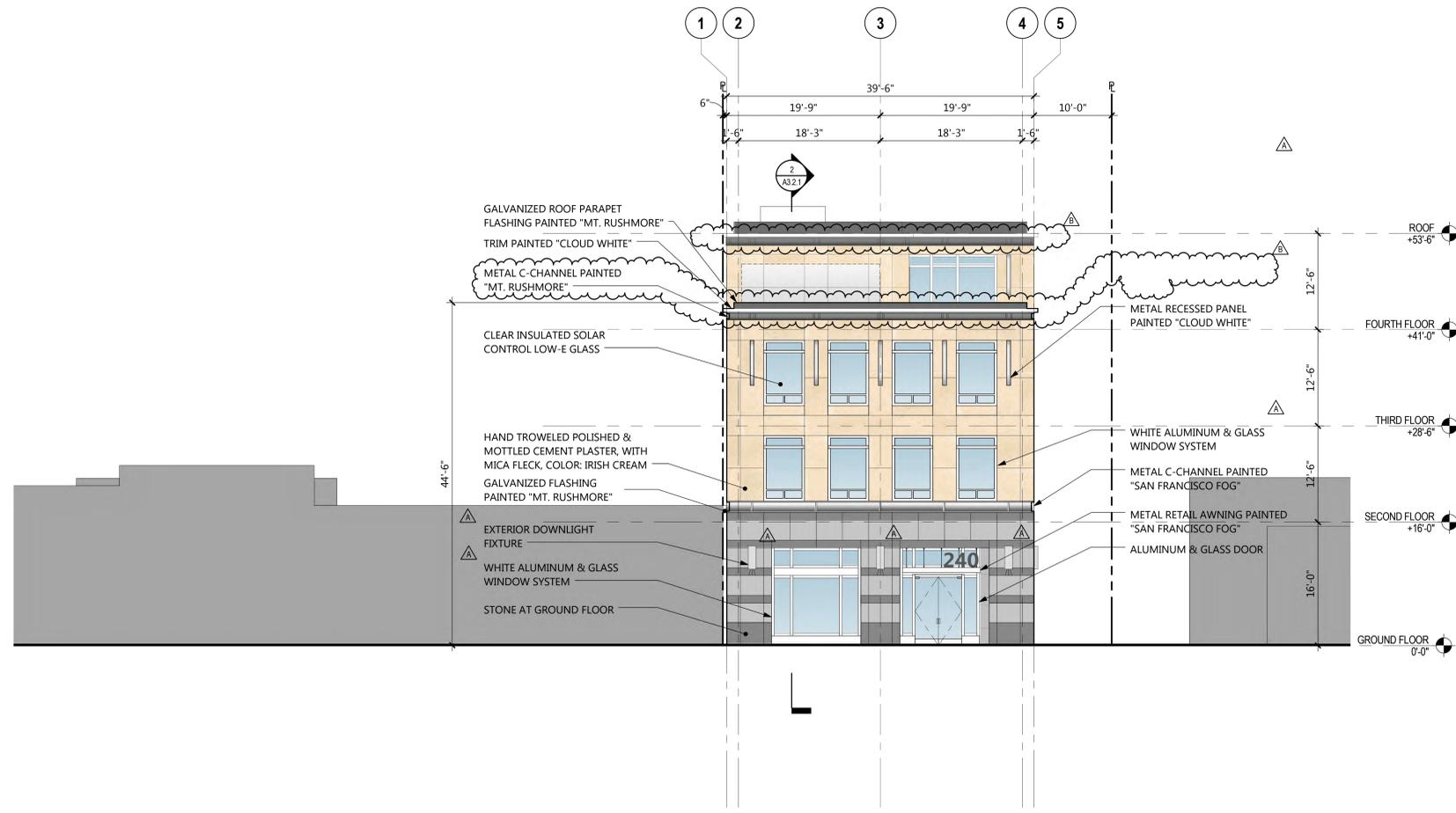
AREA OF BUILDING ROOF OVER 55'-0" IS LESS THAN 10% PER CHAPTER 25.32 BAC (BURLINGAME AVENUE COMMERCIAL) DISTRICT REGULATIONS EXCEPTIONS (A) UNDER SECTION 25.32.065

AREA OF ELEVATOR OVERRUN : 81 SQ FT

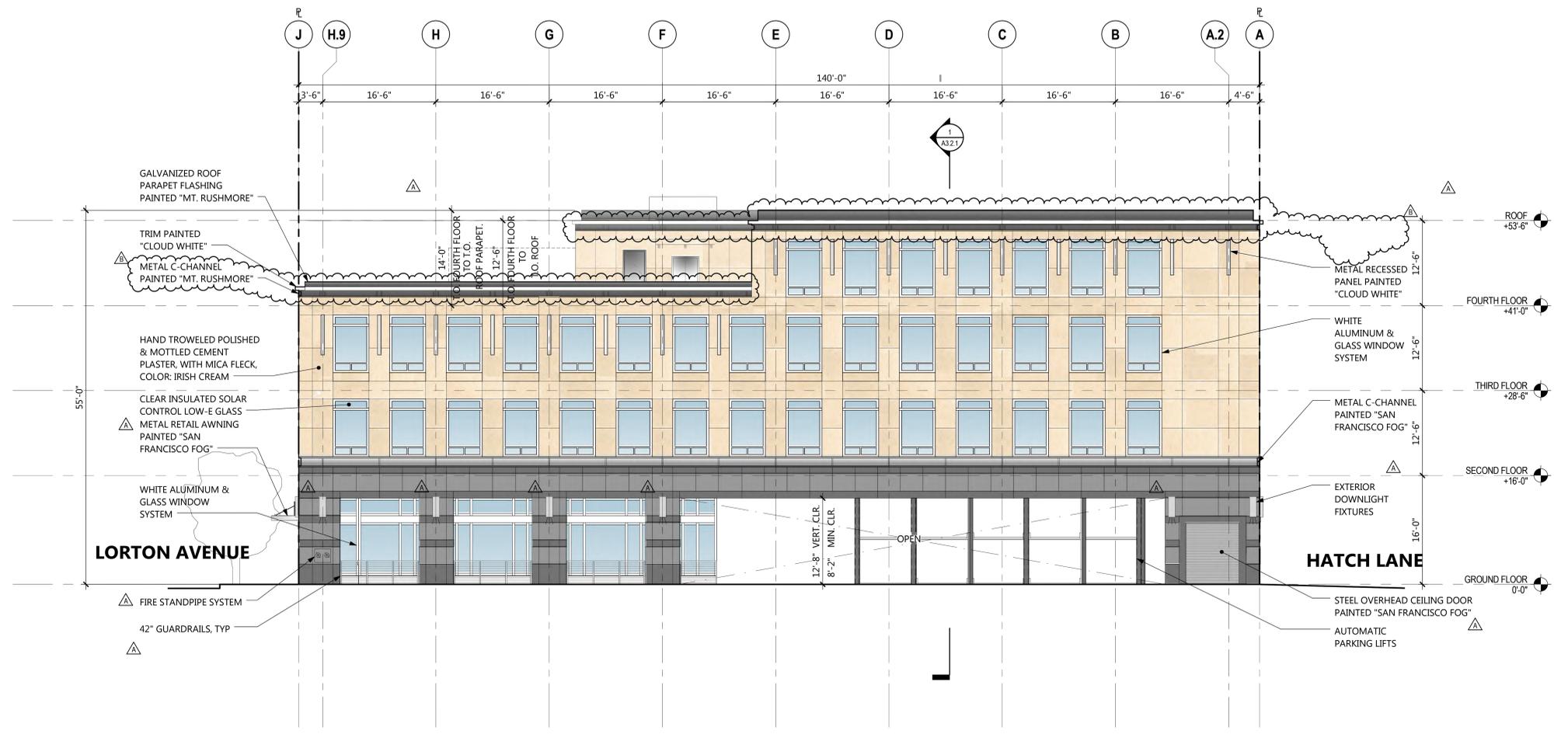
TOTAL PERCENTAGE 81 SQ FT / 2,840 SQ FT = 2.85%

No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUNE 16	PLANNING PACKAGE
▲	17 AUG 16	PLANNING REVIEW RESPONSE "A"
▲	19 SEP 16	PLANNING REVIEW RESPONSE "B"

Project	51017
Scale	1/8" = 1'-0"
Drawing Title	ROOF PLAN



SOUTH EXTERIOR ELEVATION | 1



EAST EXTERIOR ELEVATION | 2

240 LORTON AVE

**240 LORTON AVENUE
BURLINGAME CA, 94010**

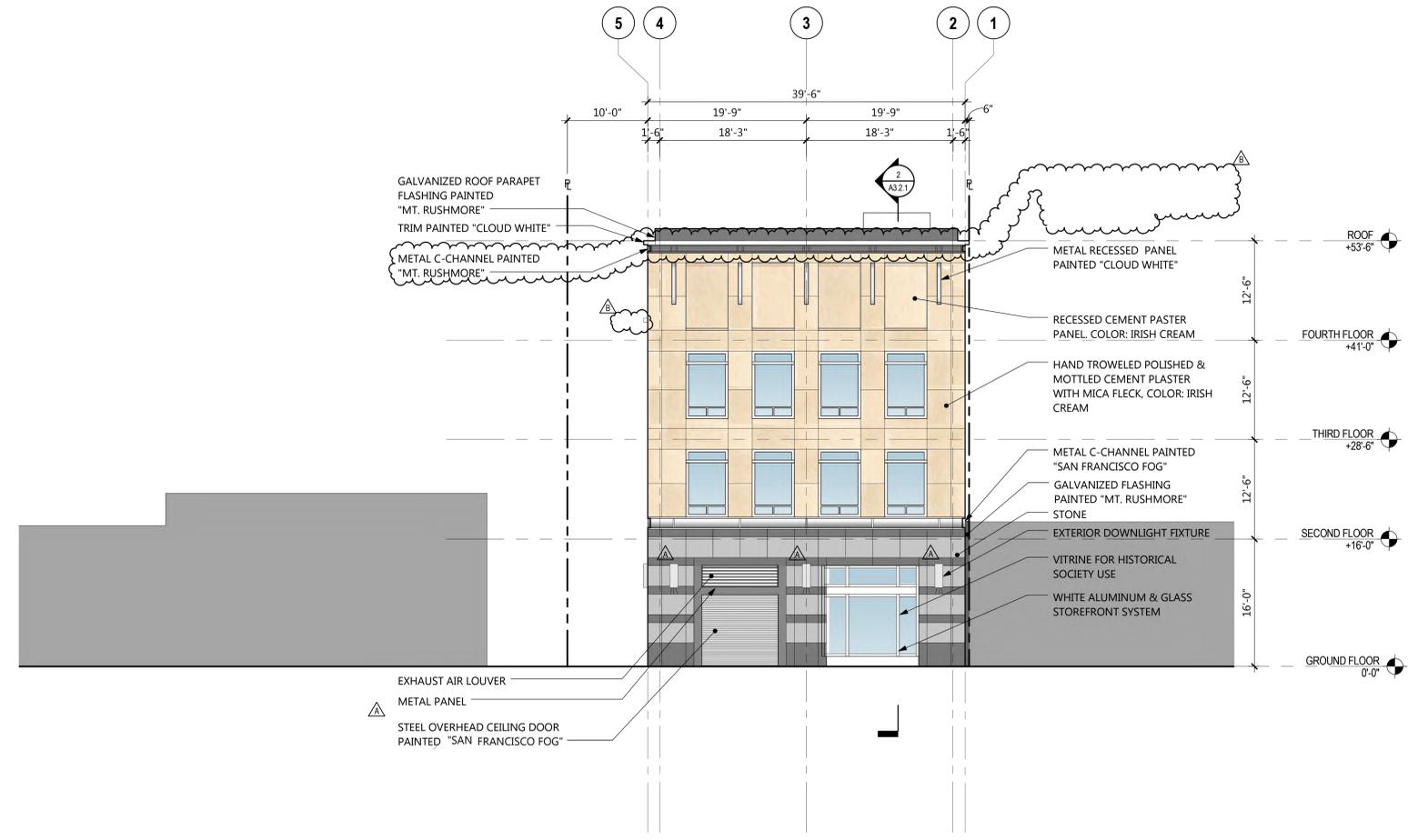
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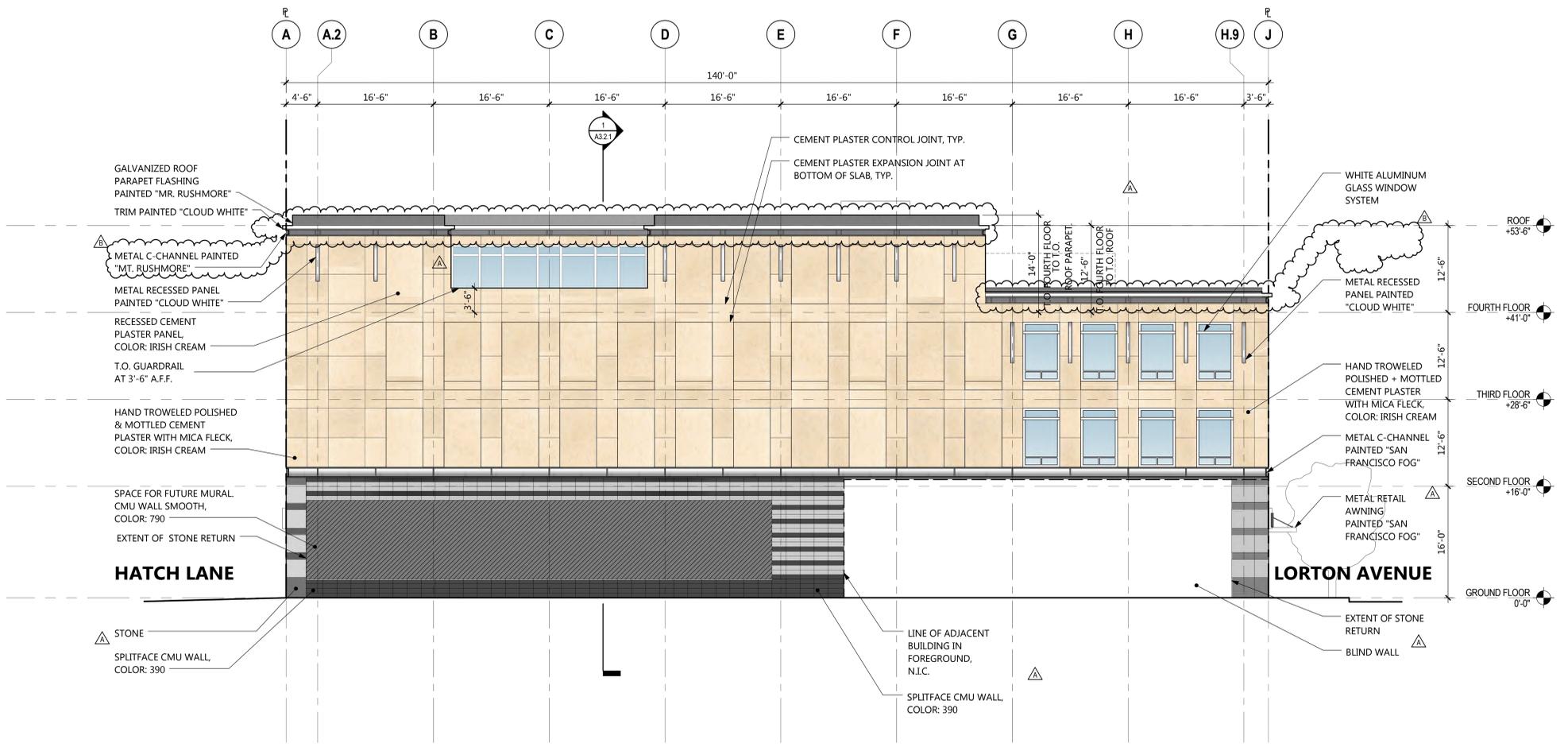
Project	51017
Scale	1/8" = 1'-0"
Drawing Title	EXTERIOR ELEVATIONS

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Drawing No.

A3.1.1



NORTH EXTERIOR ELEVATION | 1



WEST EXTERIOR ELEVATION | 2

240 LORTON AVE

**240 LORTON AVENUE
BURLINGAME CA, 94010**

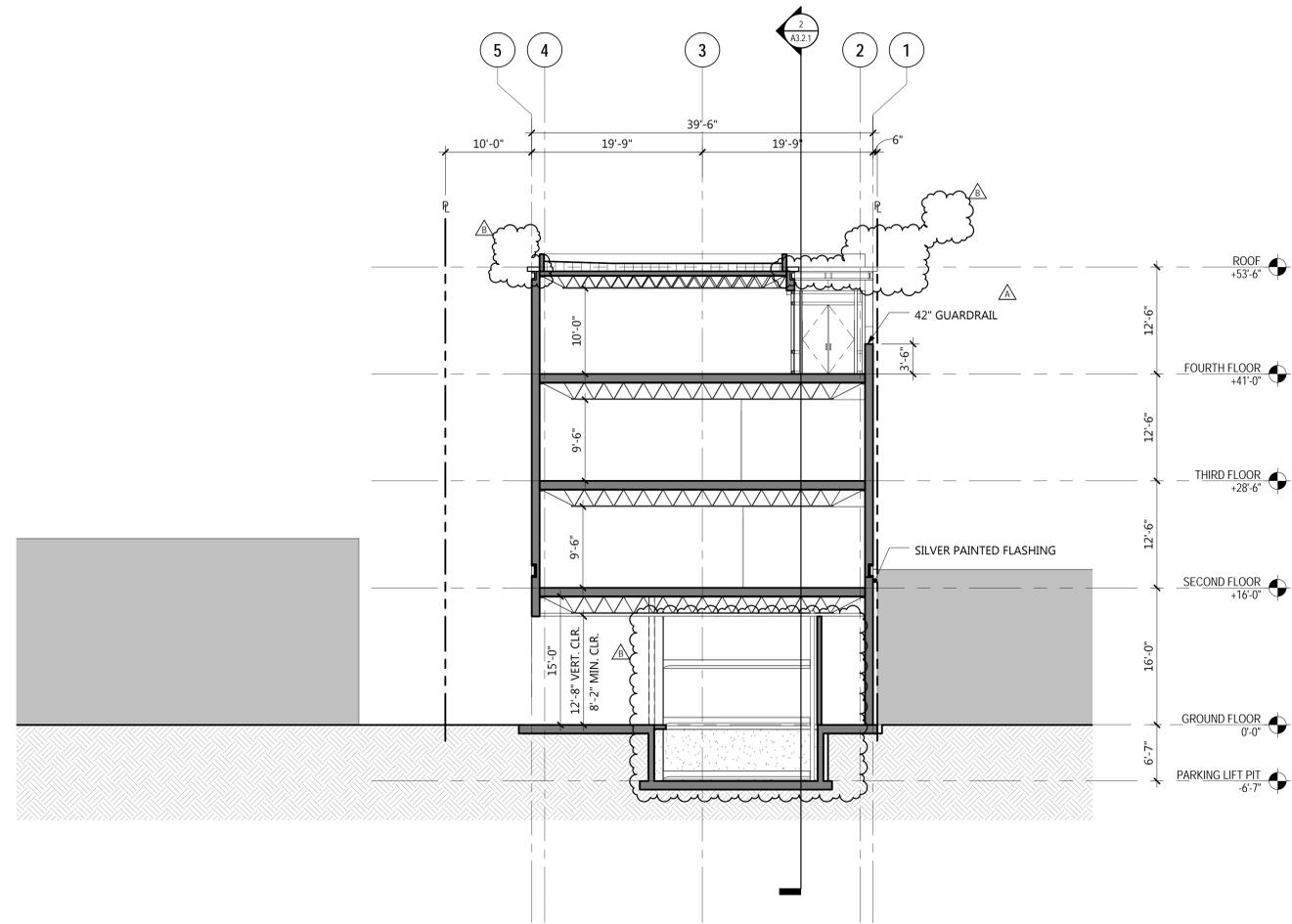
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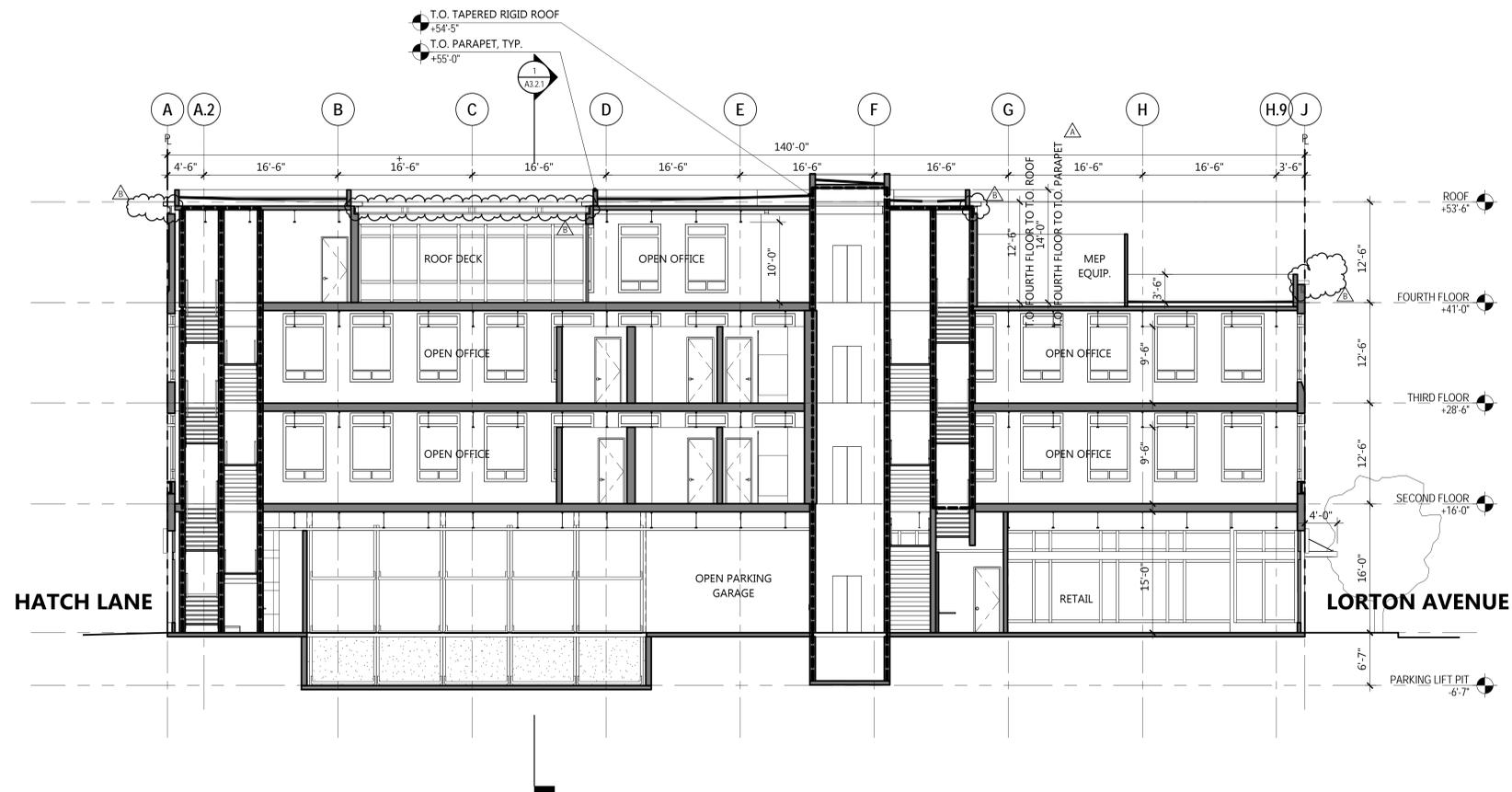
Project	51017
Scale	As indicated
Drawing Title	EXTERIOR ELEVATIONS

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Drawing No.

A3.1.2



BUILDING SECTION, EAST-WEST | 1



BUILDING SECTION, NORTH-SOUTH | 2

BUILDING SECTIONS LEGEND

2 HR ELEVATOR SHAFT / STAIR SHAFT

240 LORTON AVE

**240 LORTON AVENUE
BURLINGAME CA, 94010**

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Project	51017
Scale	1/8" = 1'-0"
Drawing Title	BUILDING SECTIONS

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Drawing No.

A3.2.1



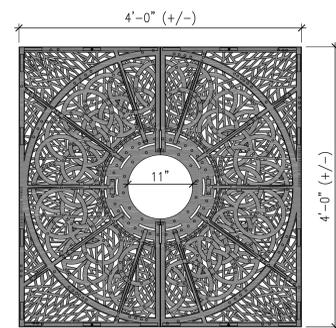
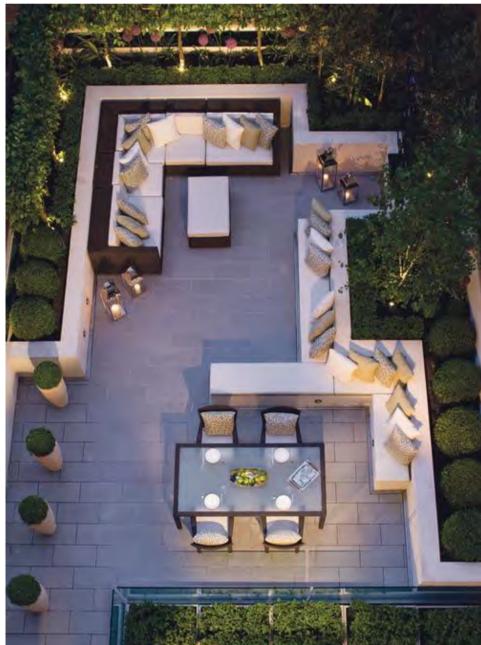
PLANTER WALLS - ALTERNATING HEIGHTS



PEDESTAL PAVERS



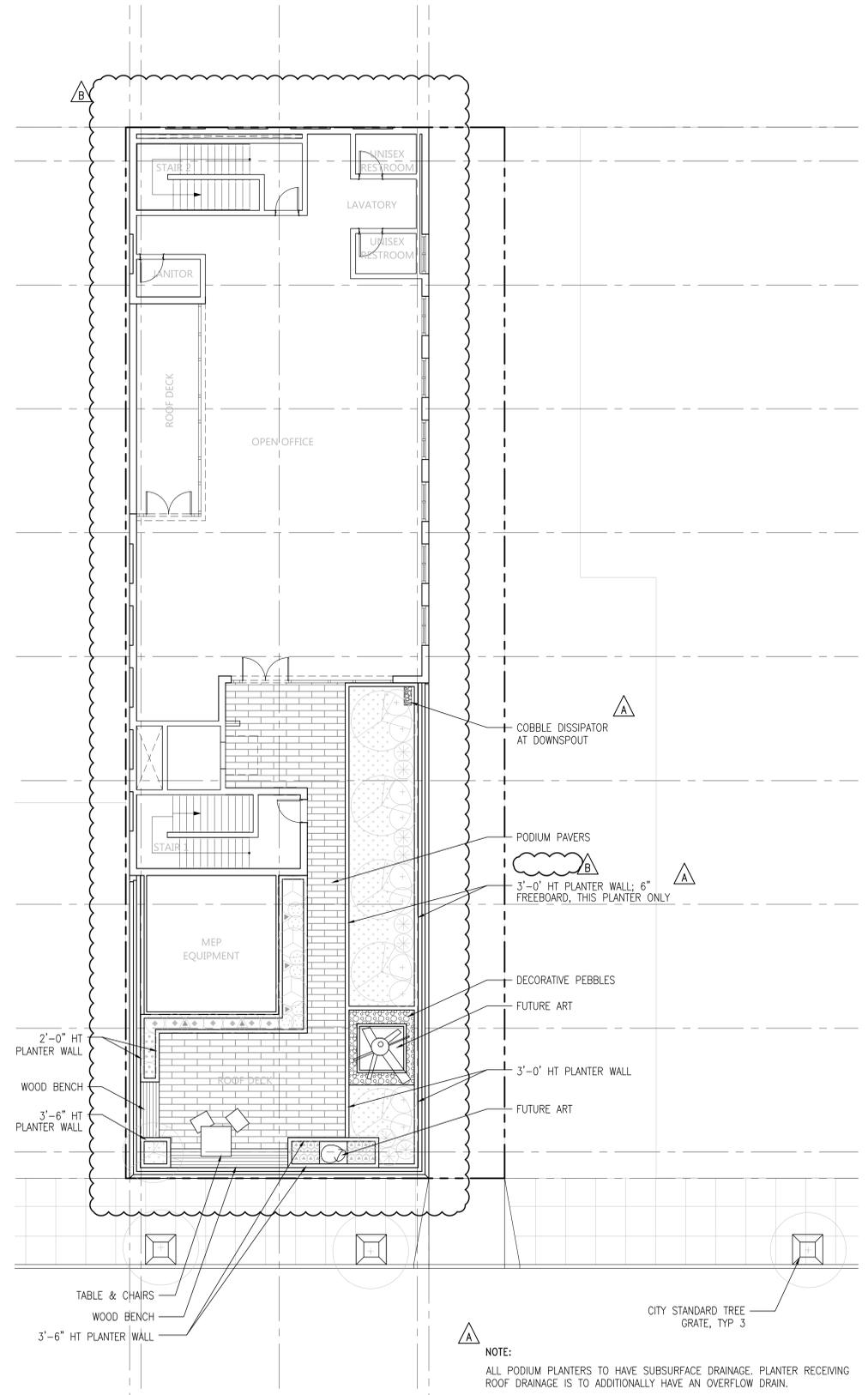
BENCH, TYPICAL



TREE GRATE TO BE CITY OF BURLINGAME STANDARD: URBAN ACCESSORIES OT TITLE-24 4'-0" SQUARE DARK GREEN POWDERCOATED GRAY IRON GRATE.

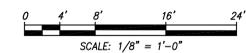
PRECEDENT IMAGES

TREE GRATE



FOURTH FLOOR & GROUND FLOOR LANDSCAPE PLAN

1/8" = 1'-0"



NO.	DATE	ISSUE
	15 JUNE 16	PLANNING PACKAGE
A	17 AUG 16	PLANNING REVIEW RESPONSE A
B	19 AUG 16	PLANNING REVIEW RESPONSE B

TREES



Ginkgo biloba 'Fairmount'



Cercis canadensis 'Forest Pansy'

PRELIMINARY PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE
STREET TREE					
○	GINKGO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	24" BOX	PER PLAN	L
FOURTH FLOOR TREE					
⊗	CERCIS CANADENSIS 'FOREST PANSY'	PURPLE LEAF REDBUD	15 GAL	PER PLAN	M
SHRUBS					
⊙	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	4'-0" OC	L
⊙	AGAVE PARRYI TRUNCATA - GENTRY	PARRYI'S AGAVE	5 GAL	3'-0" OC	L
⊙	ANIGOZANTHOS 'BUSH TANGO'	KANGAROO PAW	5 GAL	3'-0" OC	L
⊙	BULBINE FRUITESCENS	STALKED BULBINE	1 GAL	2'-0" OC	L
⊙	LEUCADENDRON 'JESTER'	SUNSHINE CONEBUSH	5 GAL	4'-0" OC	L
⊙	BERBERIS 'GOLDEN ROCKET'	BARBERRY	5 GAL	4'-0" OC	M
⊙	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6" OC	L
GRASSES					
⊙	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	3'-0" OC	L
⊙	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	3'-0" OC	L
⊙	CAREX TUMULCOLA	BERKELEY SEDGE	1 GAL	1'-0" OC	L
⊙	LIBERTIA PEREGRINANS	ORANGE LIBERTIA	5 GAL	2'-0" OC	L
⊙	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	3'-0" OC	L
⊙	PENNESETUM 'FAIRY TAILS'	FOUNTAIN GRASS	5 GAL	3'-0" OC	M
⊙	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L
⊙	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	2'-0" OC	M
VINES					
⊙	BOUGAINVILLEA SSP.	PURPLE LILAC VINE	5 GAL	PER PLAN	L

SHRUBS, GROUNDCOVERS & VINES



Acacia cognata 'Cousin Itt'



Agave perryi truncata - Gentry form



Anigozanthos 'Bush Tango'



Bulbine frutescens



Carex divulsa



Calamagrostis 'Karl Foerster'



Muhlenbergia rigens



Leucadendron 'Jester'



Berberis 'Golden Rocket'



Carex tumulcola



Libertia peregrinans



Chondropetalum tectorum



Pennesetum 'Fairy Tails'



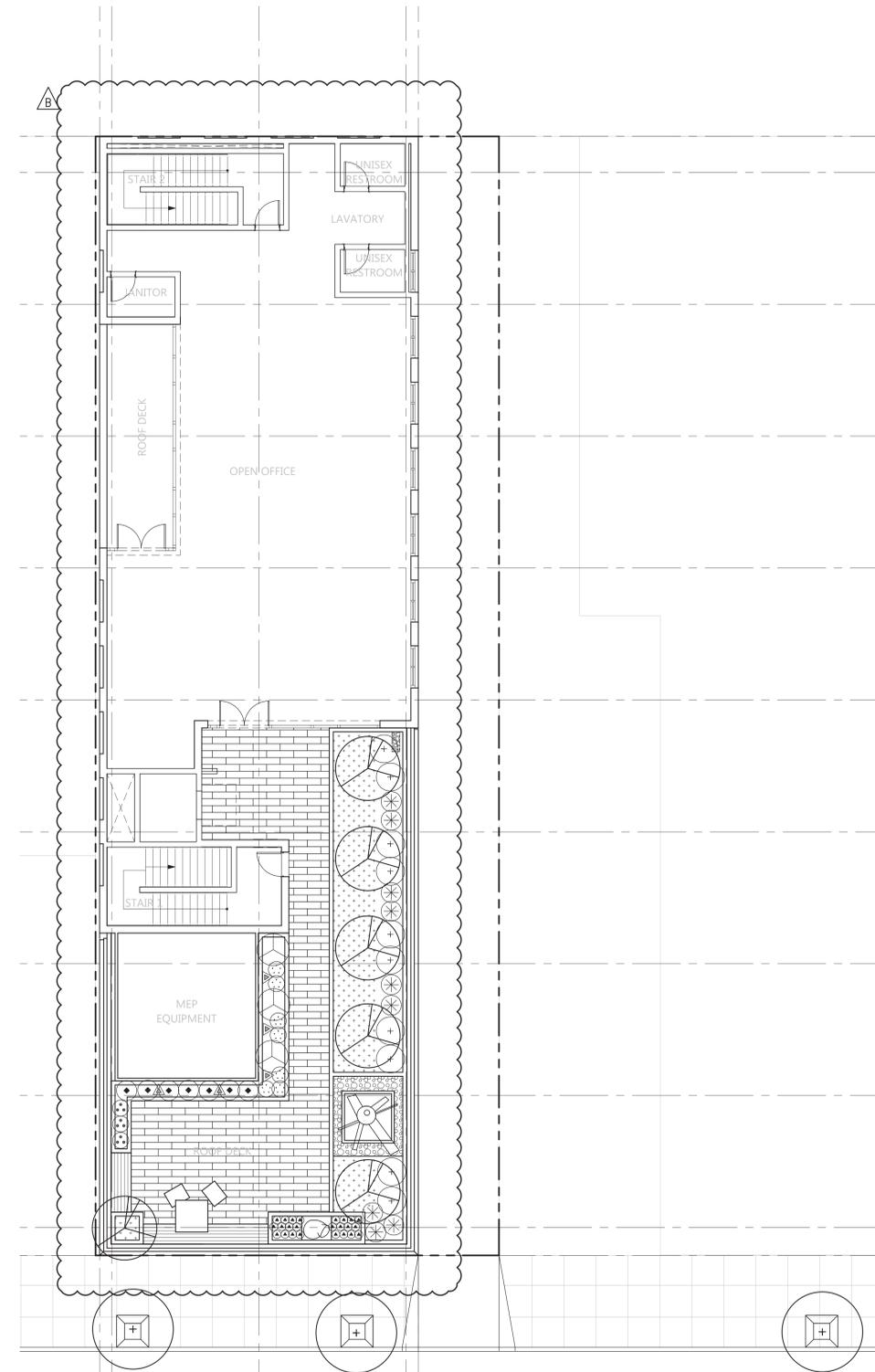
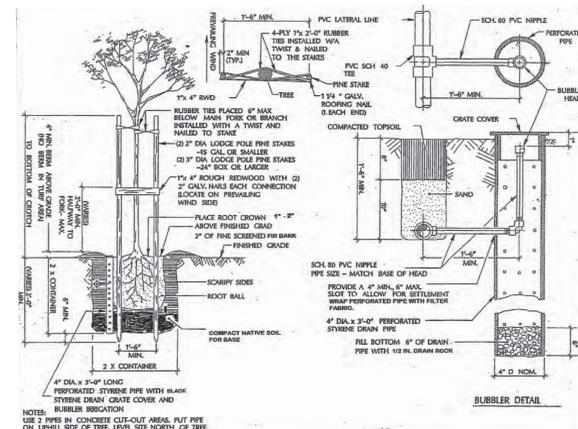
Lomandra longifolia Breeze'



Sesleria autumnalis



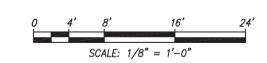
Bougainvillea

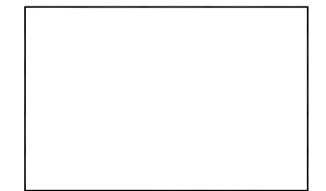


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FOURTH FLOOR & GROUND FLOOR PLANTING PLAN

JOB NO.	SCALE	DRAWN BY	SHEET NO.





1 PAINT - WHITE
"CLOUD WHITE" COLOR



2 CEMENT PLASTER
HAND-TROWELED
"IRISH CREAM" COLOR



3 PAINT - LIGHT GREY
"SAN FRANCISCO FOG" COLOR



4 PAINT - DARK GREY
"MT. RUSHMORE" COLOR



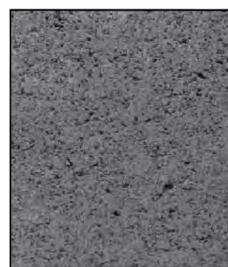
5 STOREFRONT MULLION
"65G OASIS WHITE STRIPE" COLOR



11 CONCRETE
"PEWTER 860" COLOR



10 CMU WALL
SPLITFACE
"390" COLOR



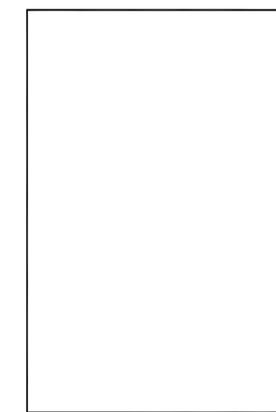
9 CMU WALL
PRECISION SMOOTH
"790" COLOR



8 STONE BASE
FLAMED
"KOYA" COLOR



7 STONE BASE
HONED
"KOYA" COLOR



6 WINDOWS
CLEAR UV-COATED GLASS

BURLINGAME

240 LORTON, BURLINGAME, CA

APN: 029-211-080
19 SEPTEMBER 2016

