



1 RENDERING: LOOKING SOUTHWEST DOWN OAK GROVE AVE.



2 RENDERING: LOOKING NORTHEAST DOWN OAK GROVE AVE.



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1491-1493 OAK GROVE AVE.
BURLINGAME, CA



1491 OAK GROVE AVE.
APN: 029 100 050
APN: 029 100 040
BURLINGAME, CA
PROJECT NO. 2014-12

DATE	SET ISSUE
10-27-2014	PLANNING SUBMISSION
04-03-2015	PLANNING SUBMISSION REV.1
03-04-2016	PLANNING SUBMISSION REV.2

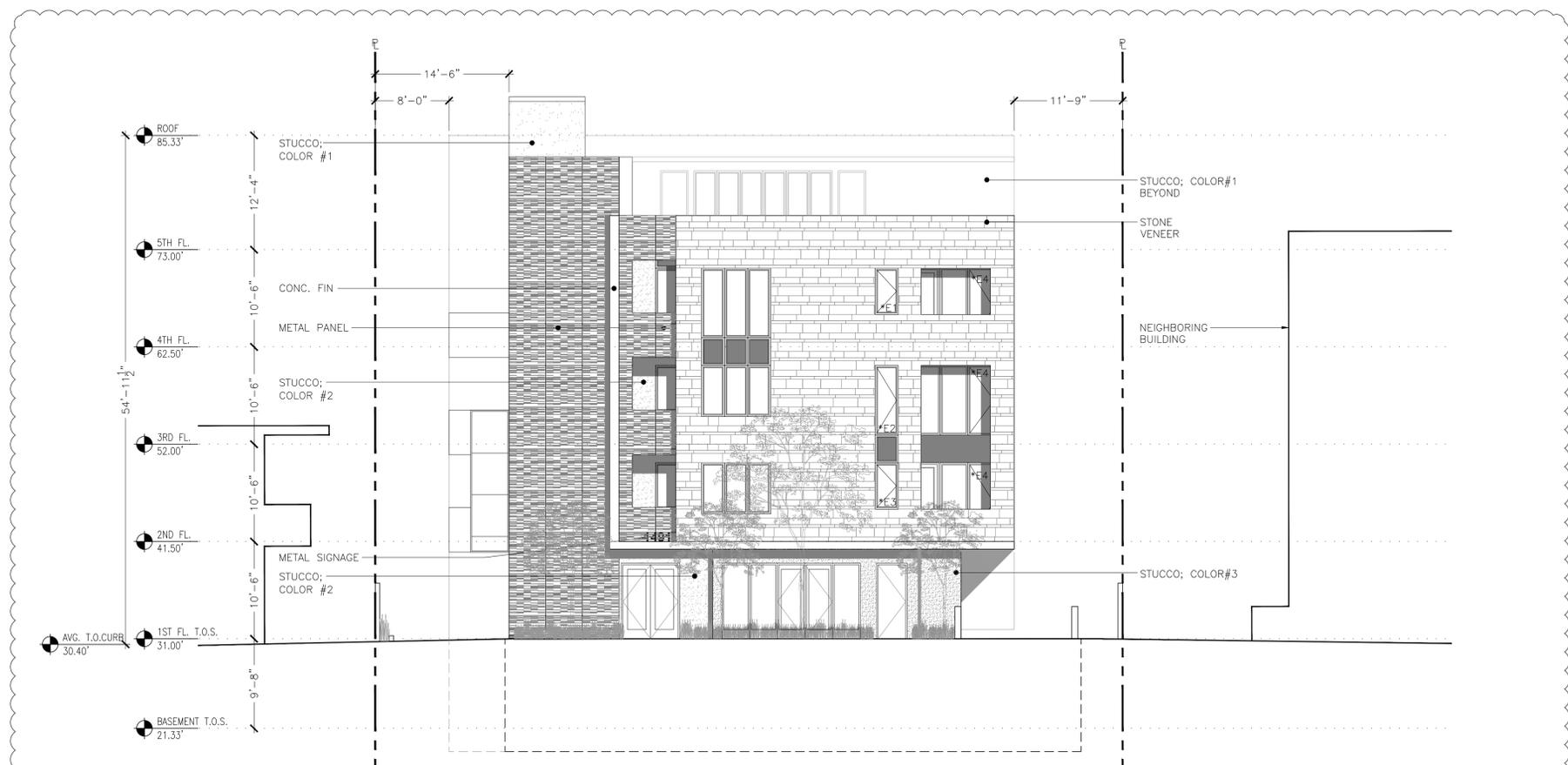
CONTACT: TOBY LEVY

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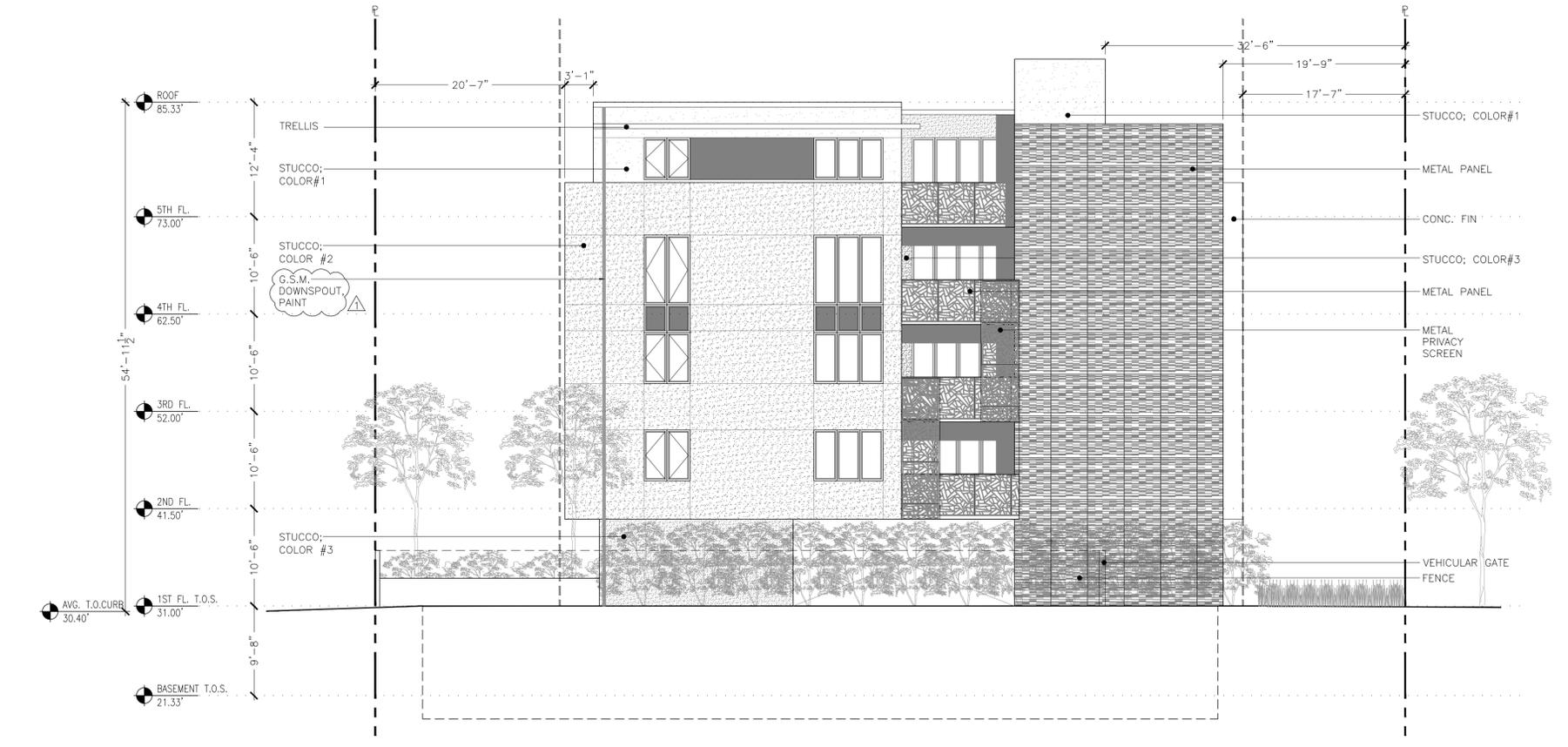
SCALE: AS NOTED

RENDERINGS
EXTERIOR

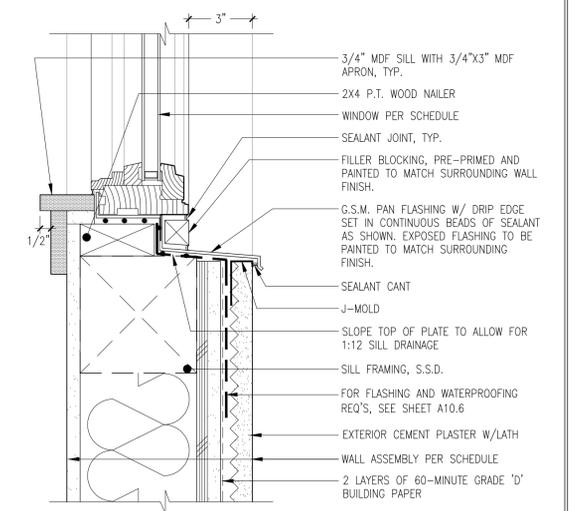
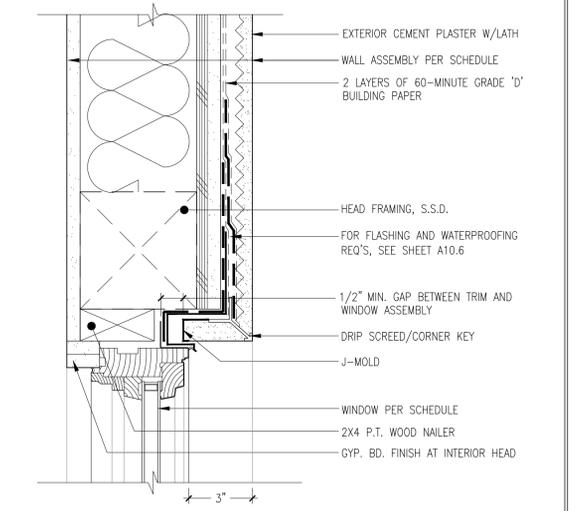
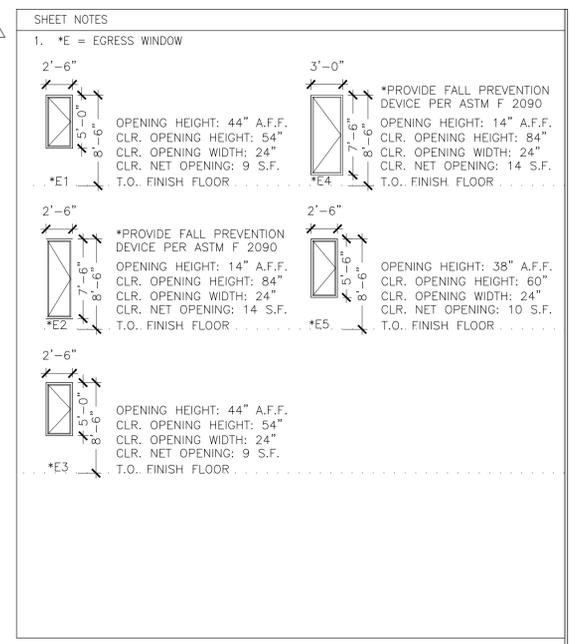
A3.3



1 ELEVATION: WEST
1/8"=1'-0"



2 ELEVATION: NORTH
1/8"=1'-0"



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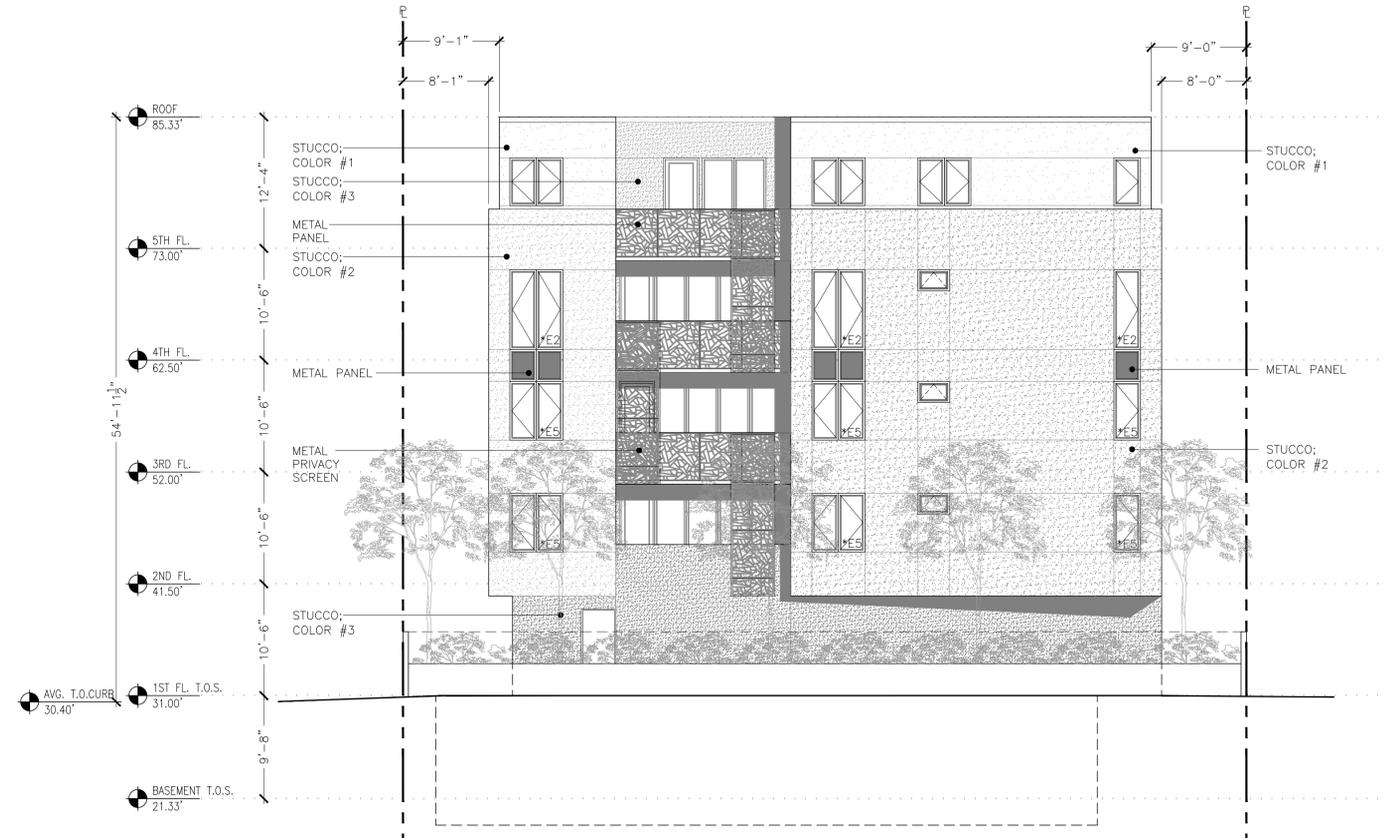
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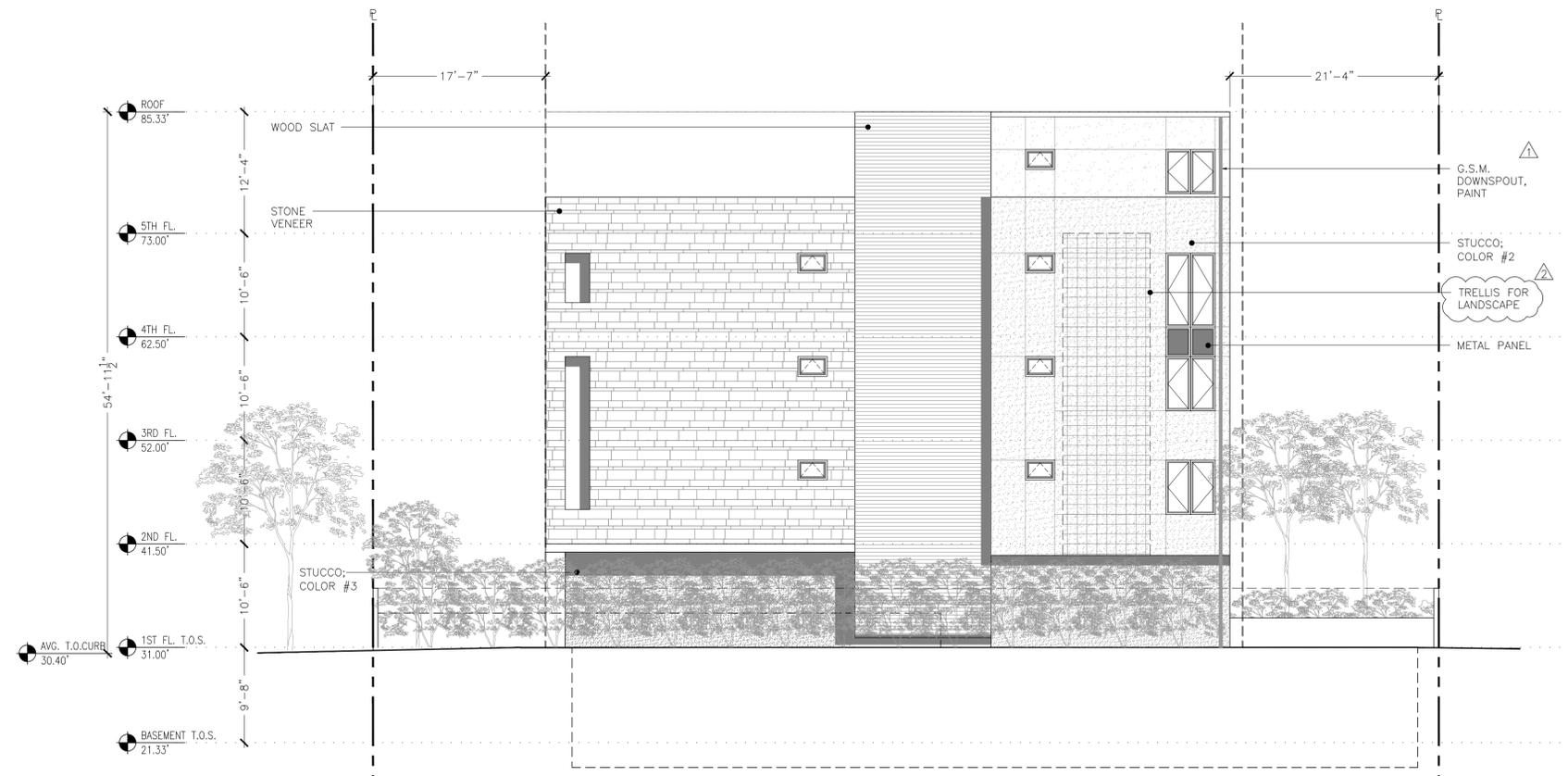
SCALE: AS NOTED

ELEVATIONS:
EXTERIOR

A3.1



1 ELEVATION: EAST
1/8"=1'-0"



2 ELEVATION: SOUTH
1/8"=1'-0"

SHEET NOTES

1. *E = EGRESS WINDOW

***E1**

2'-6"

5'-0"

8'-0"

OPENING HEIGHT: 44" A.F.F.
CLR. OPENING HEIGHT: 54"
CLR. OPENING WIDTH: 24"
CLR. NET OPENING: 9 S.F.
T.O. FINISH FLOOR

***E4**

3'-0"

7'-6"

8'-6"

OPENING HEIGHT: 14" A.F.F.
CLR. OPENING HEIGHT: 84"
CLR. OPENING WIDTH: 24"
CLR. NET OPENING: 14 S.F.
T.O. FINISH FLOOR

***E2**

2'-6"

5'-0"

8'-0"

OPENING HEIGHT: 14" A.F.F.
CLR. OPENING HEIGHT: 84"
CLR. OPENING WIDTH: 24"
CLR. NET OPENING: 14 S.F.
T.O. FINISH FLOOR

***E5**

2'-6"

5'-0"

8'-6"

OPENING HEIGHT: 38" A.F.F.
CLR. OPENING HEIGHT: 60"
CLR. OPENING WIDTH: 24"
CLR. NET OPENING: 10 S.F.
T.O. FINISH FLOOR

***E3**

2'-6"

5'-0"

8'-0"

OPENING HEIGHT: 44" A.F.F.
CLR. OPENING HEIGHT: 54"
CLR. OPENING WIDTH: 24"
CLR. NET OPENING: 9 S.F.
T.O. FINISH FLOOR

***PROVIDE FALL PREVENTION DEVICE PER ASTM F 2090**



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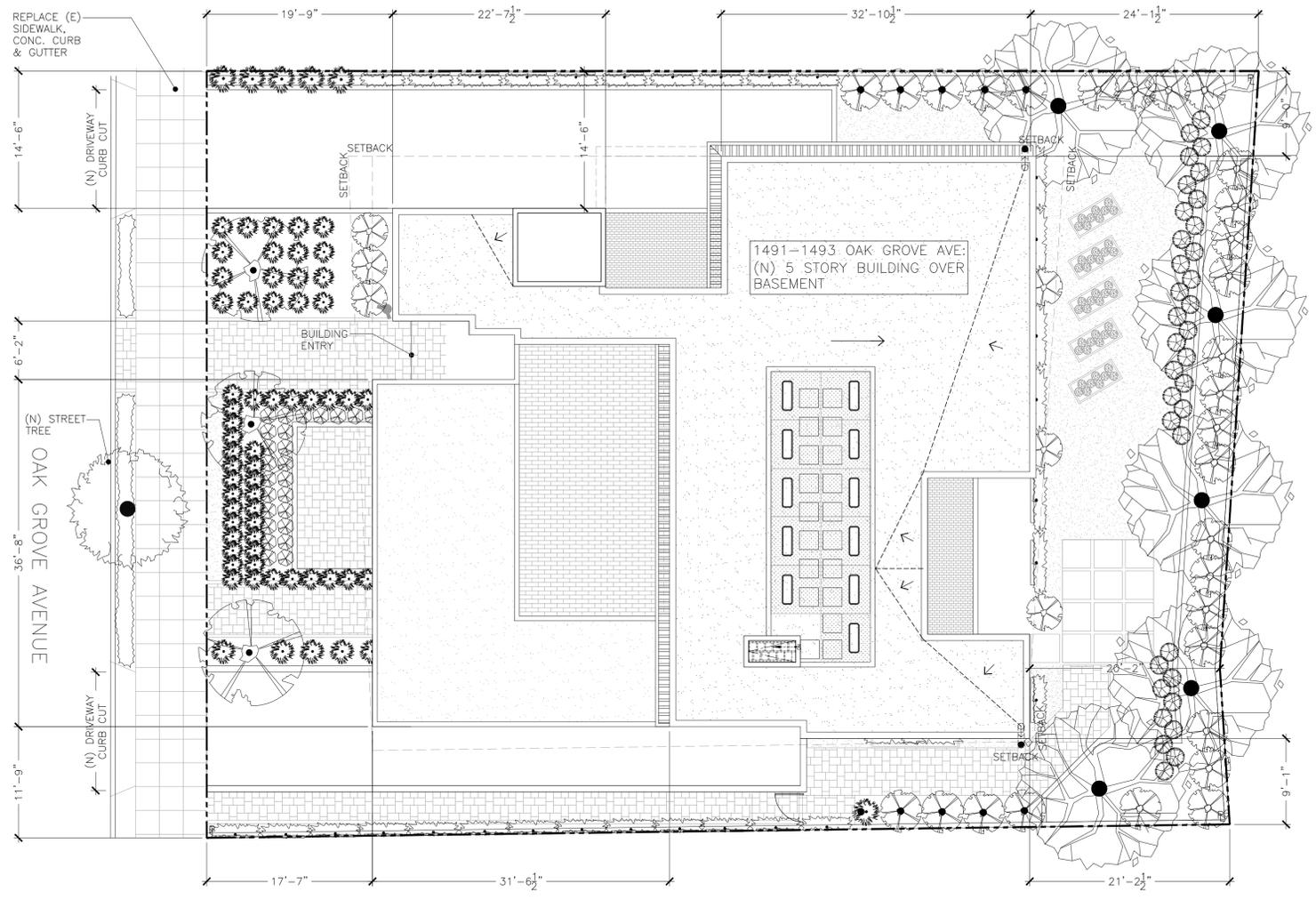
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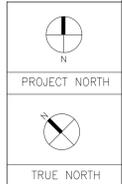
SCALE: AS NOTED

SITE PLAN:
 NEW

A1.1



1 SITE PLAN: NEW
 1/8"=1'-0"



Land Planning Concepts

Landscape Architect Reg. 2324

923 Arguello Street, Suite 200
Redwood City, California 94063

Tel (650) 346-7645

Fax (650) 367-8139

Email: bacla@sbcglobal.net

1491 - 1493

Oak Grove Avenue
Burlingame, California

Plant List

No.	Botanical Name	Common Name	Qty*	Size	Remarks
COT COG	Cotinus coggia	Smoke Tree	3	24" box	Evgn Tree
PRU LUS	Prunus lusitanica 'Standard'	Portugal Laurel	6	24" box	Evgn Tree
NAN DOM	Nandina domestica	Heavenly Bamboo	2	5 Gal	Evgn Shrub
BAM OLD	Bambus Oldhamii	Timber Bamboo	21	5 Gal	Evgn Shrub
CAM JAP	Camellia japonica 'Pink'	Japanese Camellia	3	5 Gal	Evgn Shrub
ERIG KAR	Erigeron karvinskianus	Santa Barbara Daisy	28	1 Gal	Low Shrub
HEM SPP	Hemerocallis species	Daylily, orange/ red blend	75	1 Gal	Low Shrub
JAS POLY	Jasminum polyanthum	Pink Flowering Jasmine	31	15 Gal	Espalier Vine
PEN SET	Pennisetum setaceum	Red Fountain Grass	5	5 Gal	Grassy Plant
	'Atropurpurea'				
PHOR TEN	Phormium 'Dwarf Red'	Miniature Red Flax	33	1 Gal	Grassy Plant
ROS OFF	Rosmarinus officinalis	Rosemary	42	1 Gal	Groundcover
	'Prostrata'				
STIPA	Stipa ichu	Peruvian Feather Grass	18	2 Gal	Bunch Grass
SYZ PAN	Syzygium paniculatum	Australian Bush Cherry	9	15 Gal	Evgn Shrub

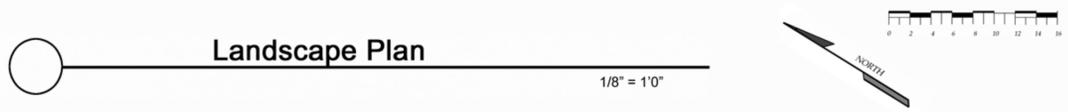
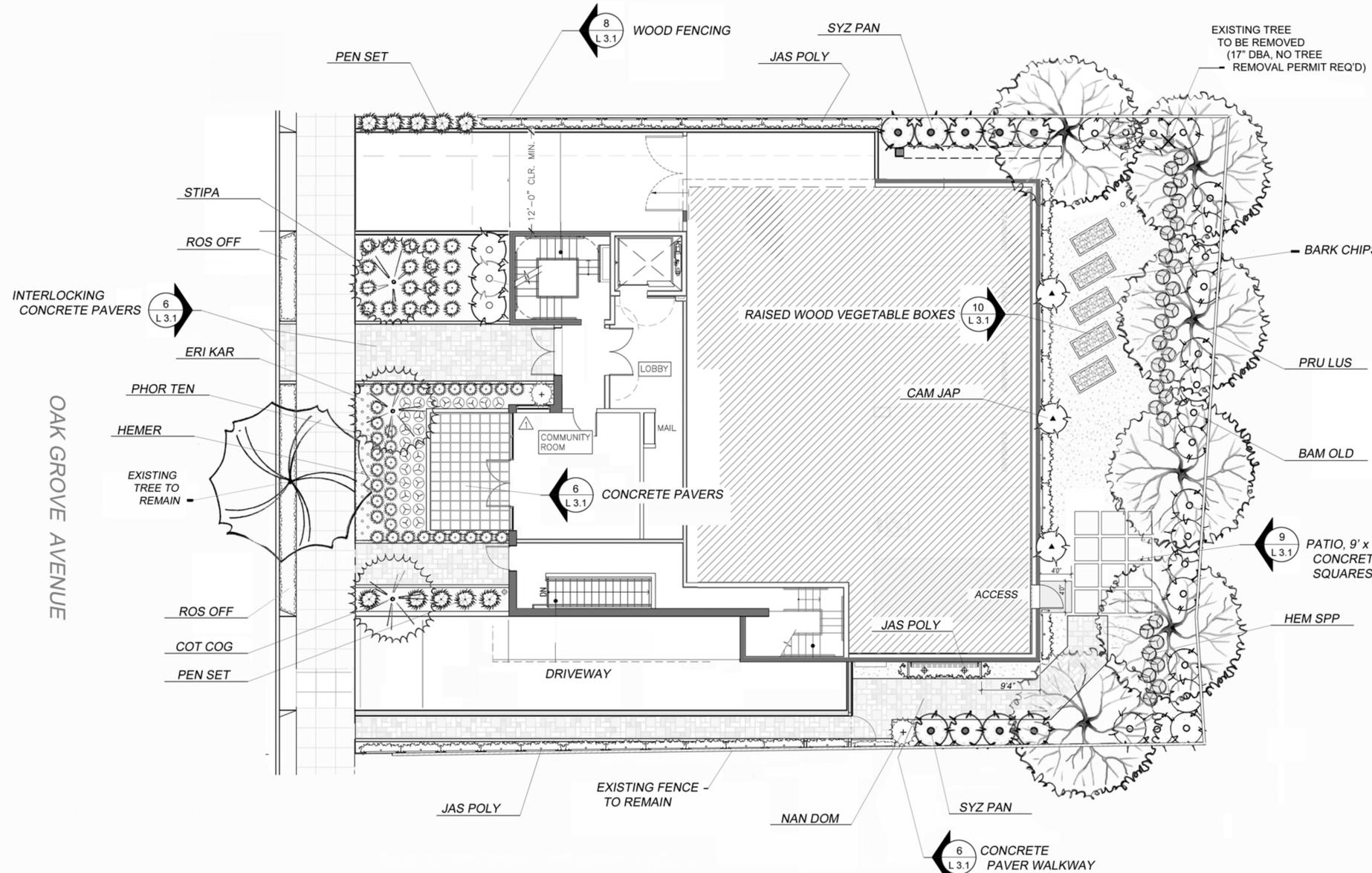
* Note: Contractor to verify quantities.

PLANTING NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNER IN THE FIELD PRIOR TO REMOVAL. EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH PAINT OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHIECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
- ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED. BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
- ESPALIER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS. THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
- PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.

SITE COVERAGES

Lot Size	8770.00 s.f.	
Total Landscape Area	4537.20 s.f.	100% (51.7% of total lot area)
Driveways	1547.00 s.f.	34.1%
Walkways & Patios	634.00 s.f.	14%
Landscape Area	2356.20 s.f.	51.9%
Area within Front Setback	1253.20 s.f.	
Hardscape Pedestrian within front setback	218.00 s.f.	17.4%
Driveway Area Within front setback	390.00 s.f.	31.1%
Softscape within front setback	645.00 s.f.	51.5%



Landscape Plan

SHEET TITLE

Landscape Plan

REVISIONS

No.	Date	Notes
1	8-10-15	Add community room patio
2	3-3-16	Add vines to building wall/planter

PROJECT #:

DATE: 4-1-15

SHEET #:

L 1.1



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SCALE: AS NOTED

FLOOR PLAN:
BASEMENT

A2.0

GENERAL NOTES

- AT THE TIME OF BUILDING PERMIT APPLICATION, PLANS AND ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2013 CBC, CHAPTER 33 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA. THE FOLLOWING WILL BE ADDRESSED:
 - THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.
 - ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT/WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.
 - IF SHORING IS REQUIRED, SPECIFY ON THE PLANS WHO'S SOLE RESPONSIBILITY IT IS TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.
 - SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.
 - SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND/OR DRIVEWAY SURCHARGE LOADS.
- WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.

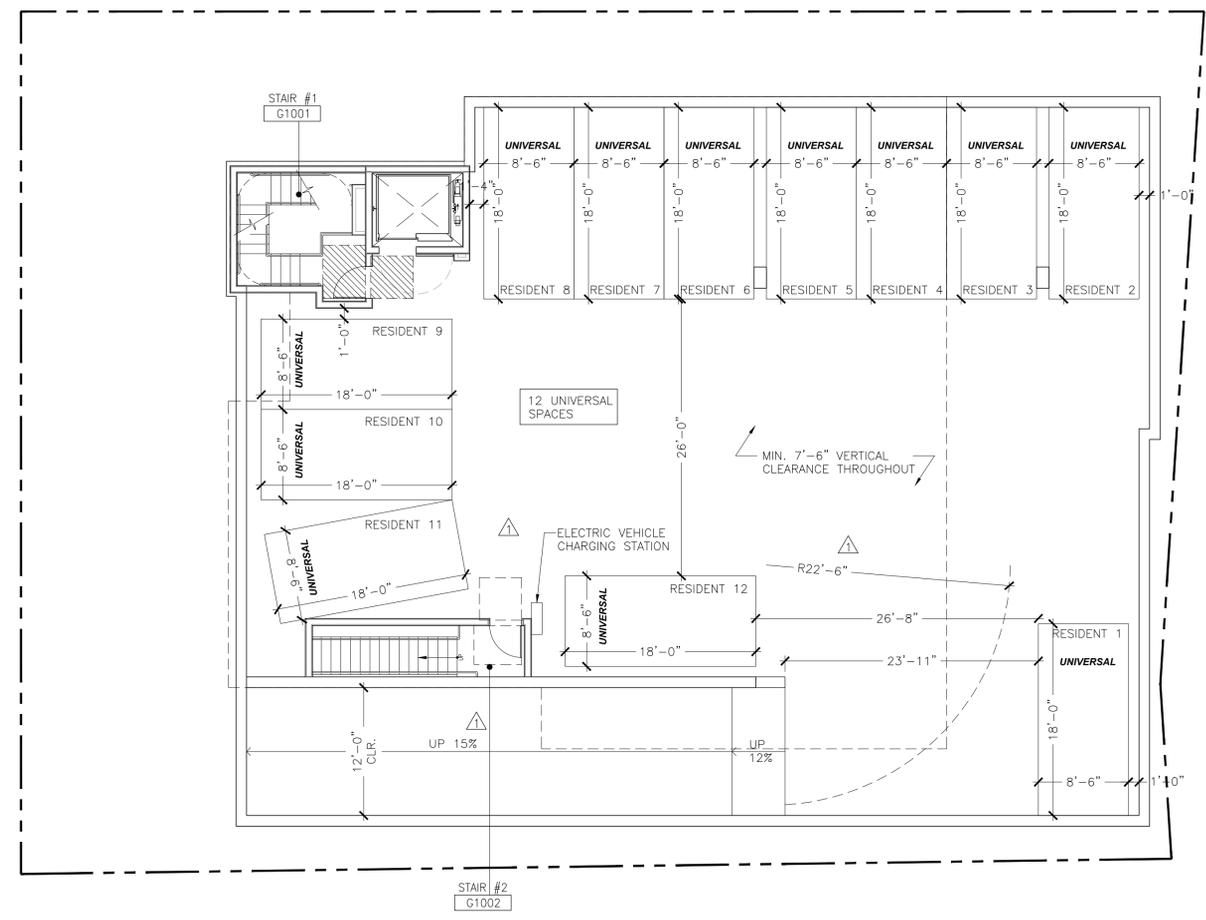
ACCESSIBILITY NOTES

- INTERIOR UNIT DOORS: 42"
PUBLIC DOORS: 60"
- INTERIOR UNIT DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS

*DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.

UNIT BREAK DOWN

UNIT #	TYPE	SQ. FT.	DECK SQ. FT.*
A1	2BD/2BA	1080	125
A2	2BD/2BA	1080	70
A3	2BD/2BA	1080	112
B	2BD/2BA	1150	175
C	1BD/1BA	660	82
D	NOT USED		
E	3BD/2BA	1880	625



1 PLAN: BASEMENT
1/8" = 1'-0"



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SCALE: AS NOTED

FLOOR PLAN:
GROUND FLOOR

A2.1

GENERAL NOTES

- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
- AT ALL ACCESSIBLE TOILET ROOMS PROVIDE THE FOLLOWING:
 - MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
- SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
- ALL BATHROOMS MUST COMPLY WITH OPTION 2 ITEMS 1-12 IN 2013 CBC SECTION 1134A.2 EXCEPT SECONDARY BATHROOMS WHICH NEED ONLY COMPLY WITH ITEMS 8-12.

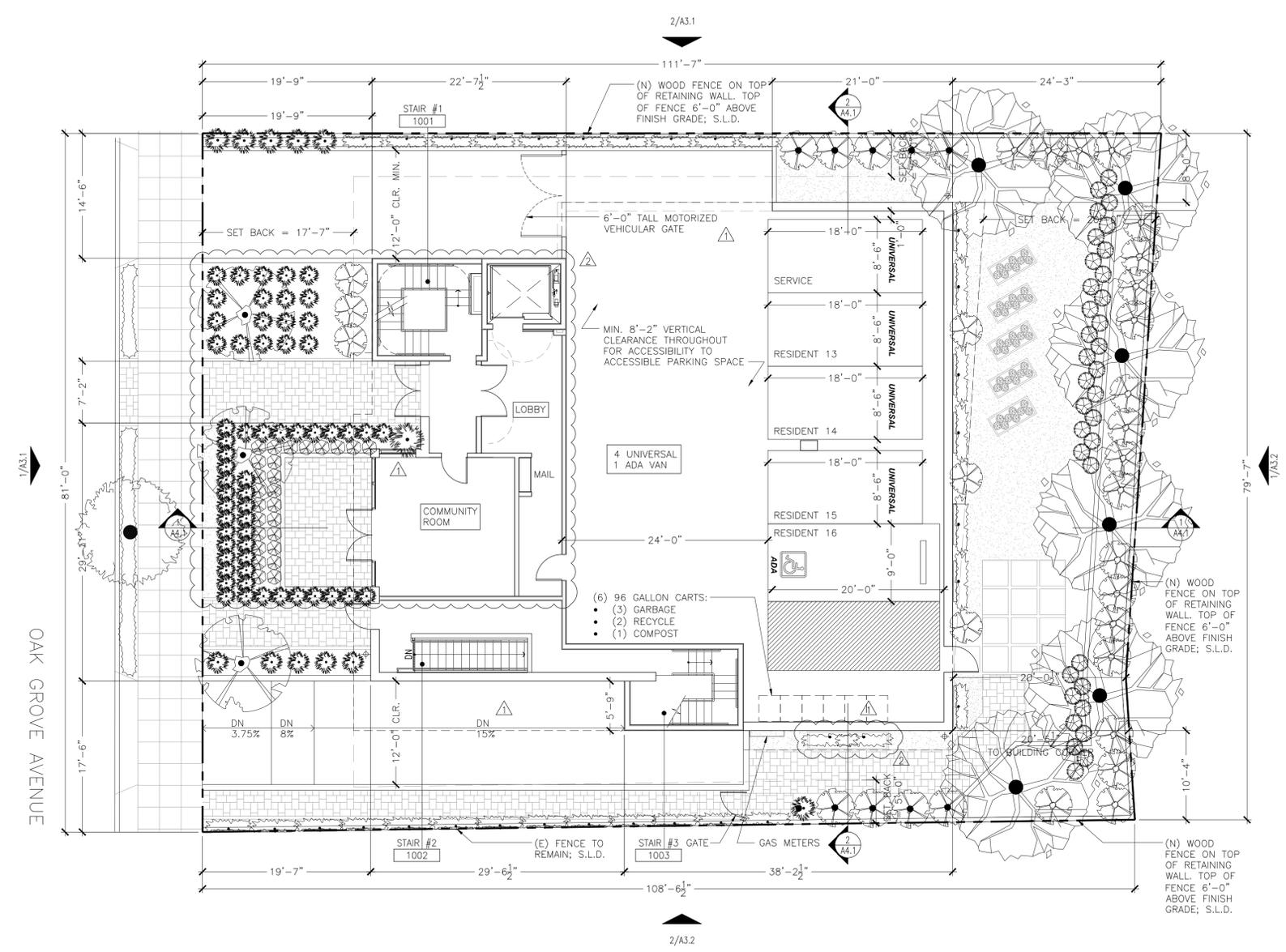
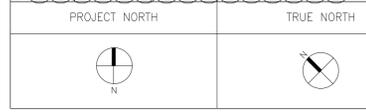
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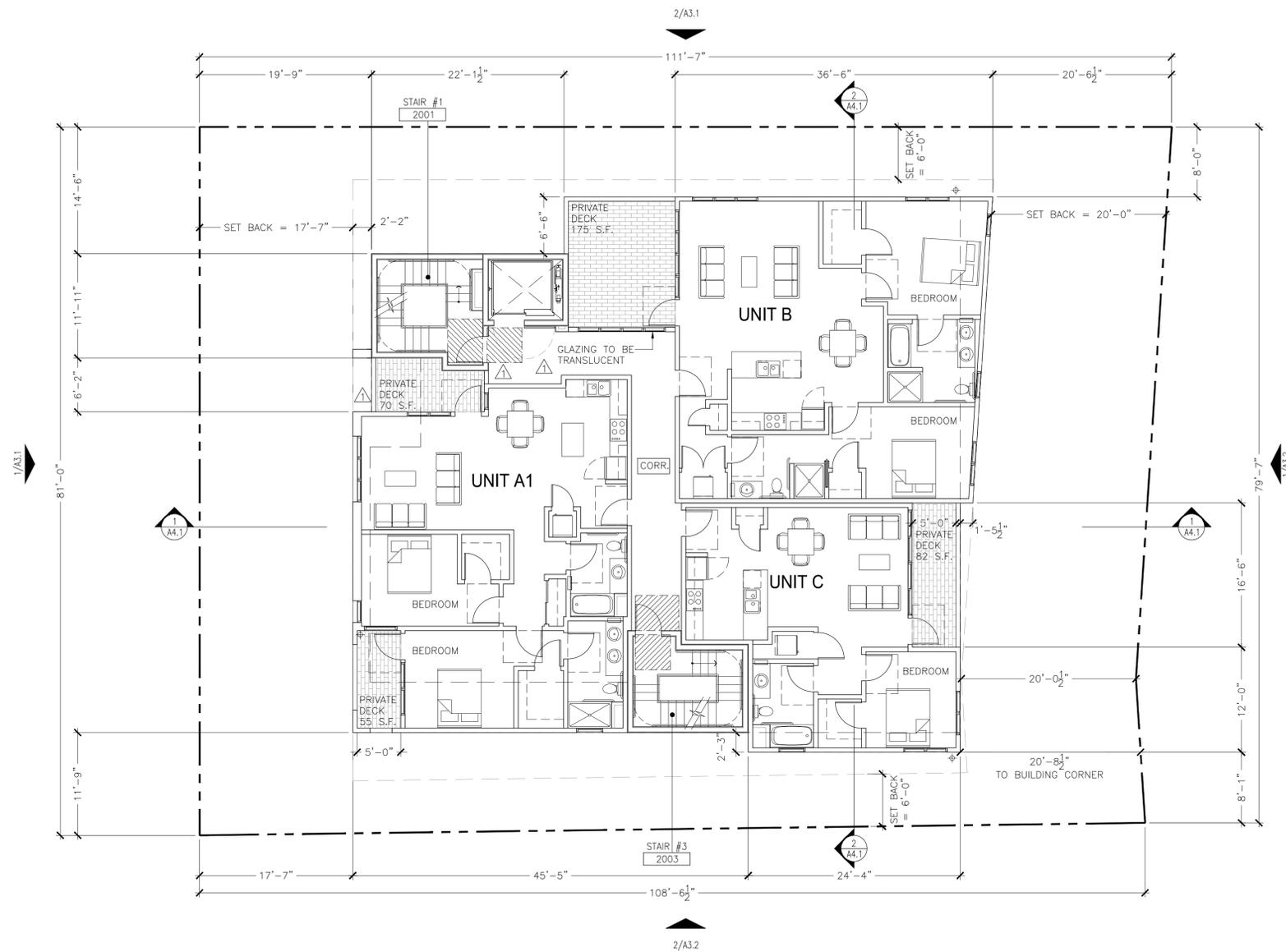
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1 PLAN: GROUND FLOOR
1/8" = 1'-0"



1 PLAN: 2ND FLOOR
1/8" = 1'-0"

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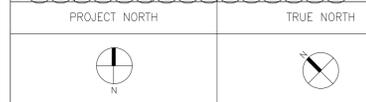
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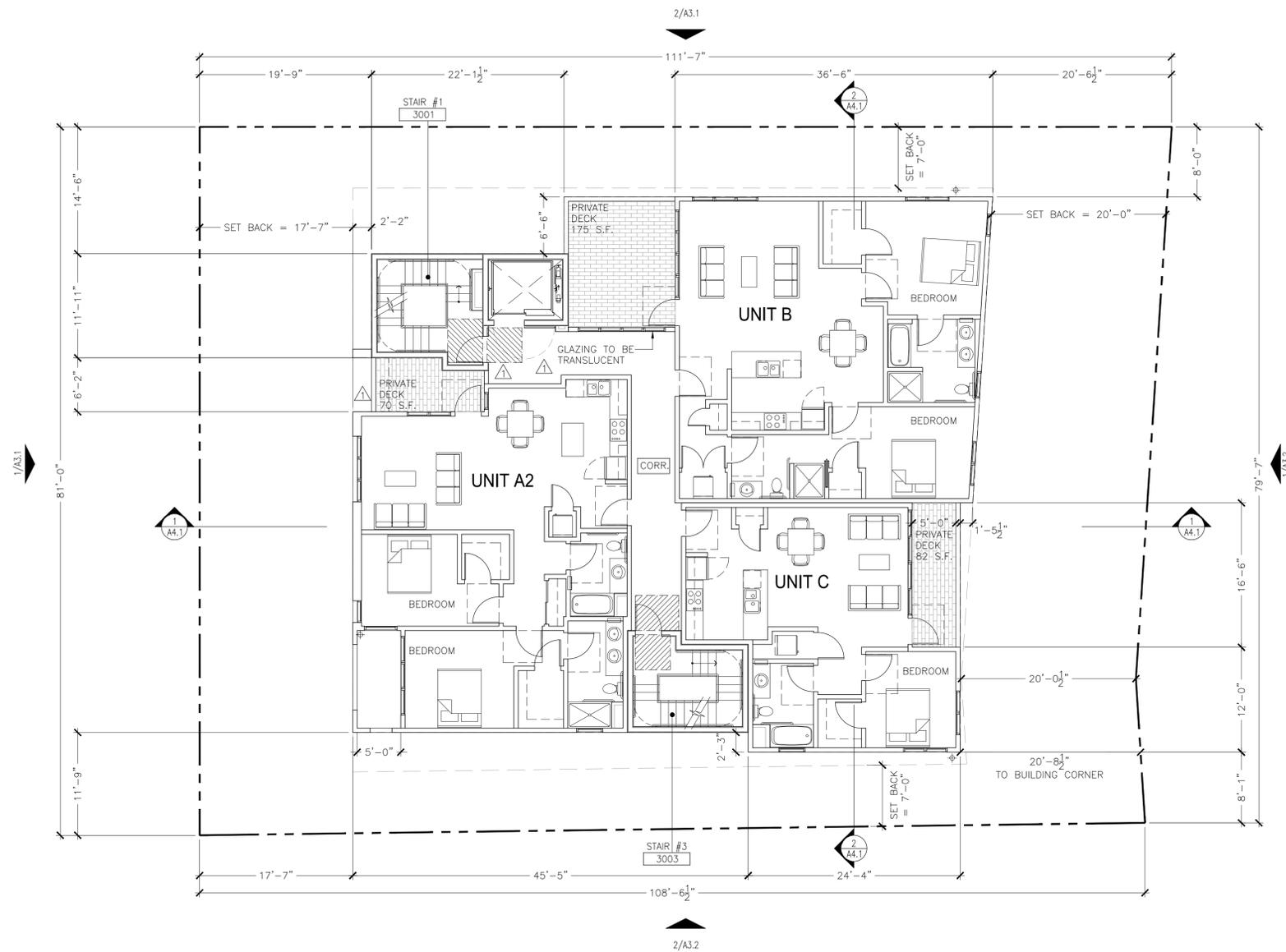
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SCALE: AS NOTED

**FLOOR PLAN:
2ND FLOOR**

A2.2



1 PLAN: 3RD FLOOR
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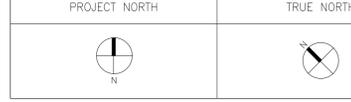
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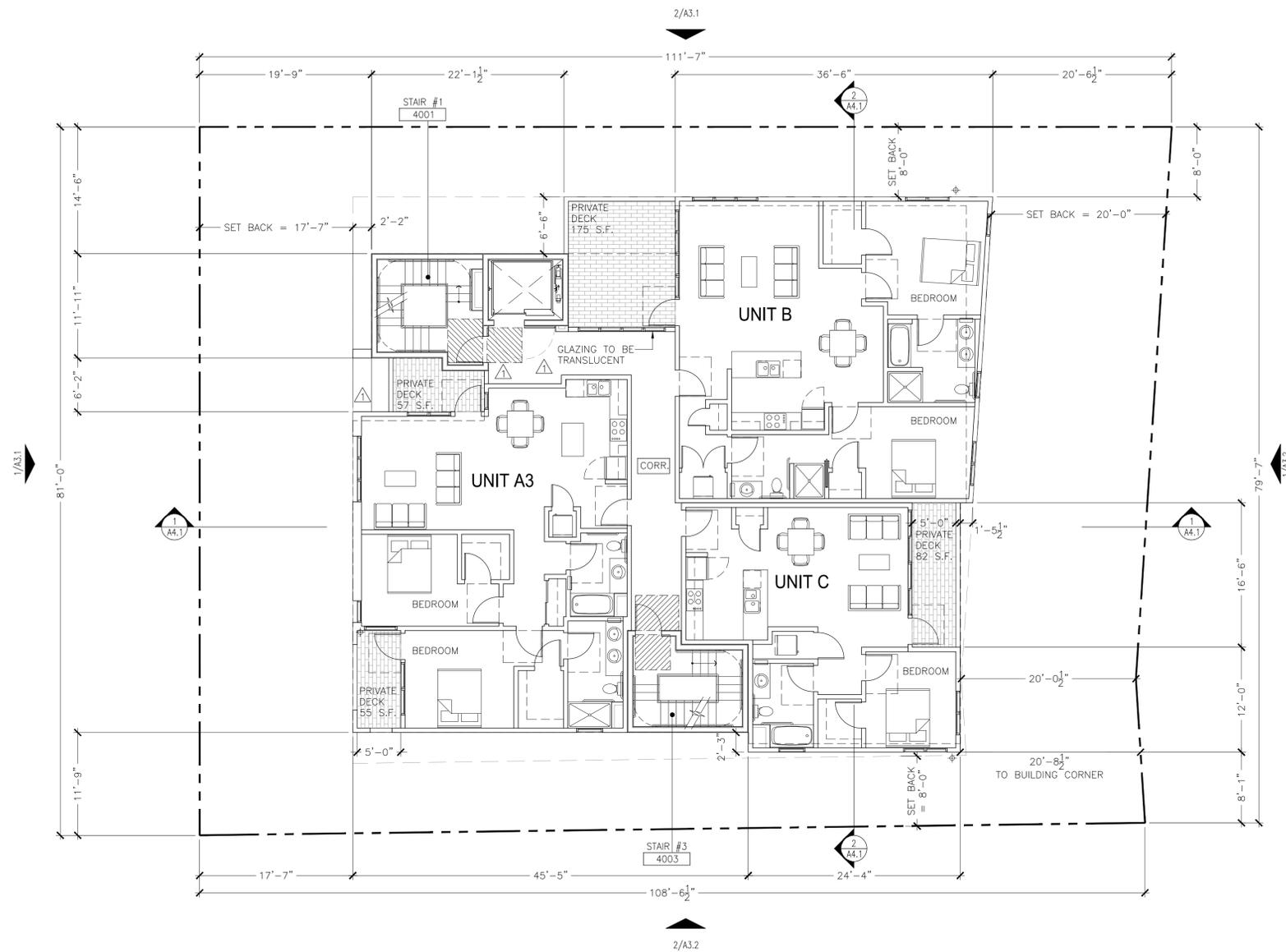
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SCALE: **AS NOTED**

**FLOOR PLAN:
3RD FLOOR**

A2.3



1 PLAN: 4TH FLOOR
1/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL, MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
2. AT ALL ACCESSIBLE TOILET ROOMS PROVIDE THE FOLLOWING:
 - 2.1. MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - 2.2. MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - 2.3. MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
3. SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
4. ALL BATHROOMS MUST COMPLY WITH OPTION 2 ITEMS 1-12 IN 2013 CBC SECTION 1134A.2 EXCEPT SECONDARY BATHROOMS WHICH NEED ONLY COMPLY WITH ITEMS 8-12.



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**1491-1493 OAK GROVE AVE.
BURLINGAME, CA**



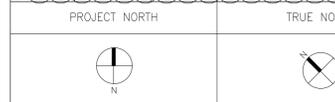
1491 OAK GROVE AVE.
APN: 029 100 050
APN: 029 100 040
BURLINGAME, CA
PROJECT NO. 2014-12

ACCESSIBILITY NOTES

- INTERIOR UNIT DOORS: 42"
PUBLIC DOORS: 60"
- INTERIOR UNIT DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
- NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS
- *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.

UNIT BREAK DOWN

UNIT #	TYPE	SQ. FT.	DECK SQ. FT.*
A1	2BD/2BA	1080	125
A2	2BD/2BA	1080	70
A3	2BD/2BA	1080	112
B	2BD/2BA	1150	175
C	1BD/1BA	660	82
D	NOT USED		
E	3BD/2BA	1880	625



DATE	SET ISSUE
10-27-2014	PLANNING SUBMISSION
04-03-2015	PLANNING SUBMISSION REV.1
03-04-2016	PLANNING SUBMISSION REV.2

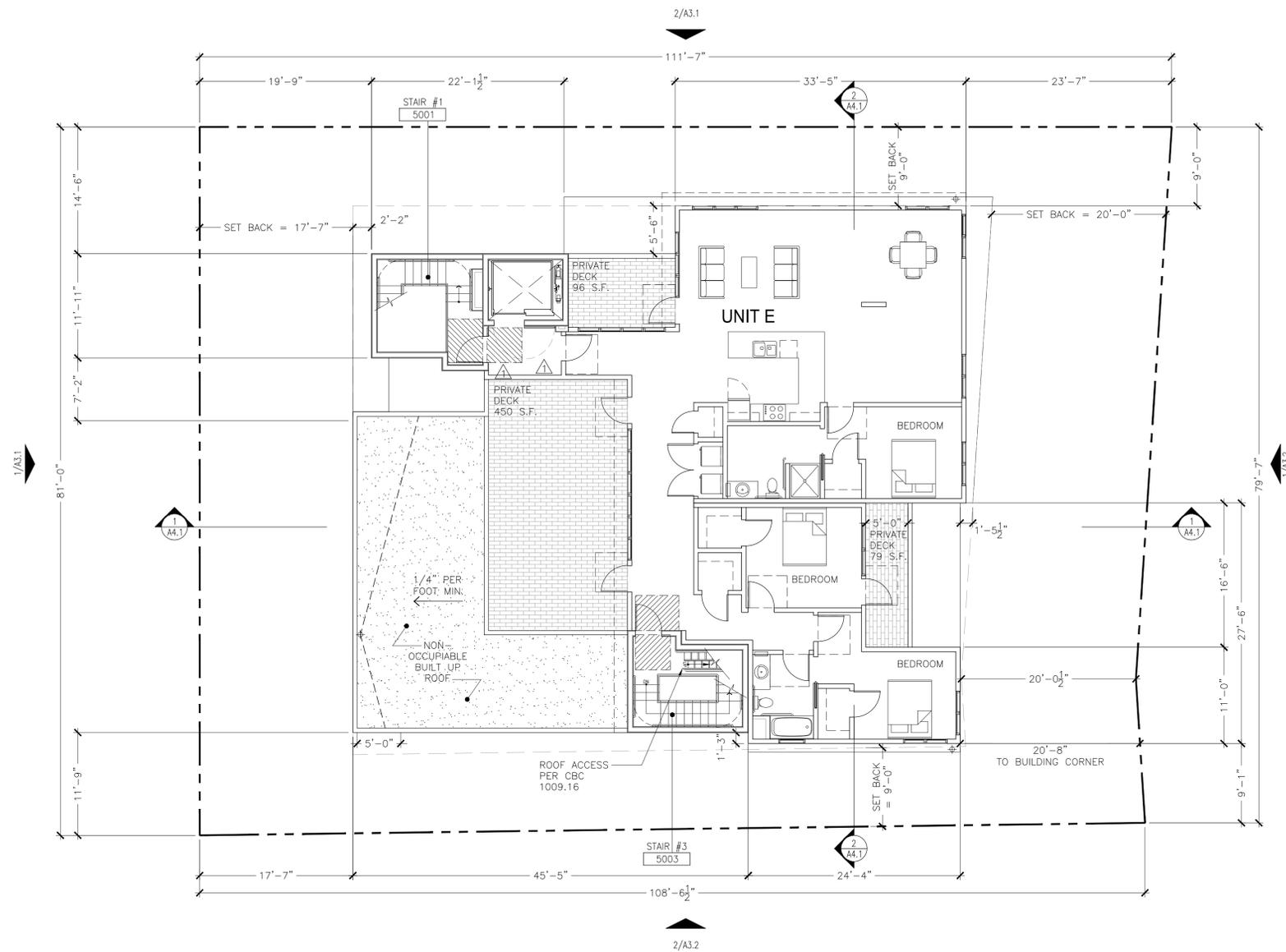
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

**FLOOR PLAN:
4TH FLOOR**

A2.4



1 PLAN: 5TH FLOOR
1/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL, MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
2. AT ALL ACCESSIBLE TOILET ROOMS PROVIDE THE FOLLOWING:
 - 2.1. MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - 2.2. MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - 2.3. MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
3. SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
4. ALL BATHROOMS MUST COMPLY WITH OPTION 2 ITEMS 1-12 IN 2013 CBC SECTION 1134A.2 EXCEPT SECONDARY BATHROOMS WHICH NEED ONLY COMPLY WITH ITEMS 8-12.



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**1491-1493 OAK GROVE AVE.
BURLINGAME, CA**



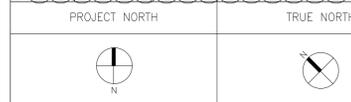
1491 OAK GROVE AVE.
APN: 029 100 050
APN: 029 100 040
BURLINGAME, CA
PROJECT NO. 2014-12

ACCESSIBILITY NOTES

- INTERIOR UNIT DOORS: 42"
PUBLIC DOORS: 60"
- INTERIOR UNIT DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS
- *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.

UNIT BREAK DOWN

UNIT #	TYPE	SQ. FT.	DECK SQ. FT.*
A1	2BD/2BA	1080	125
A2	2BD/2BA	1080	70
A3	2BD/2BA	1080	112
B	2BD/2BA	1150	175
C	1BD/1BA	660	82
D	NOT USED		
E	3BD/2BA	1880	625



DATE	SET ISSUE
10-27-2014	PLANNING SUBMISSION
04-03-2015	PLANNING SUBMISSION REV.1
03-04-2016	PLANNING SUBMISSION REV.2

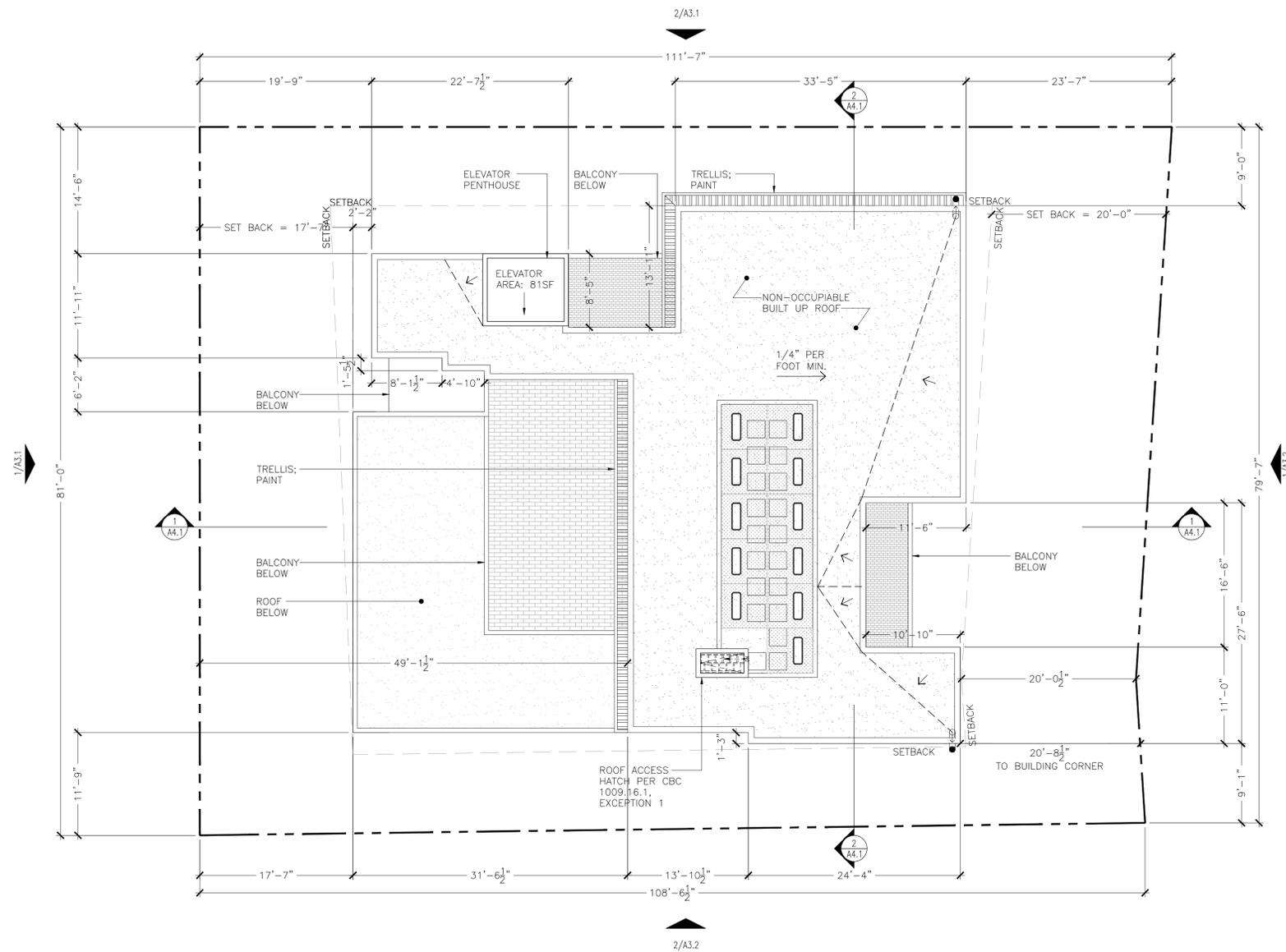
CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

**FLOOR PLAN:
5TH FLOOR**

A2.5



1 PLAN: ROOF
1/8" = 1'-0"

GENERAL NOTES

1. ROOF TO COMPLY WITH "COOL ROOF" REQUIREMENTS OF THE 2008 CALIFORNIA ENERGY CODE SECTION 151.F.12.



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BURLINGAME, CA**



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10-27-2014	PLANNING SUBMISSION
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03-04-2016	PLANNING SUBMISSION REV.2

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(415) 777-5117 F

SCALE: AS NOTED

**FLOOR PLAN:
ROOF**

PROJECT NORTH	TRUE NORTH

A2.6



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03-04-2016 PLANNING SUBMISSION REV.2

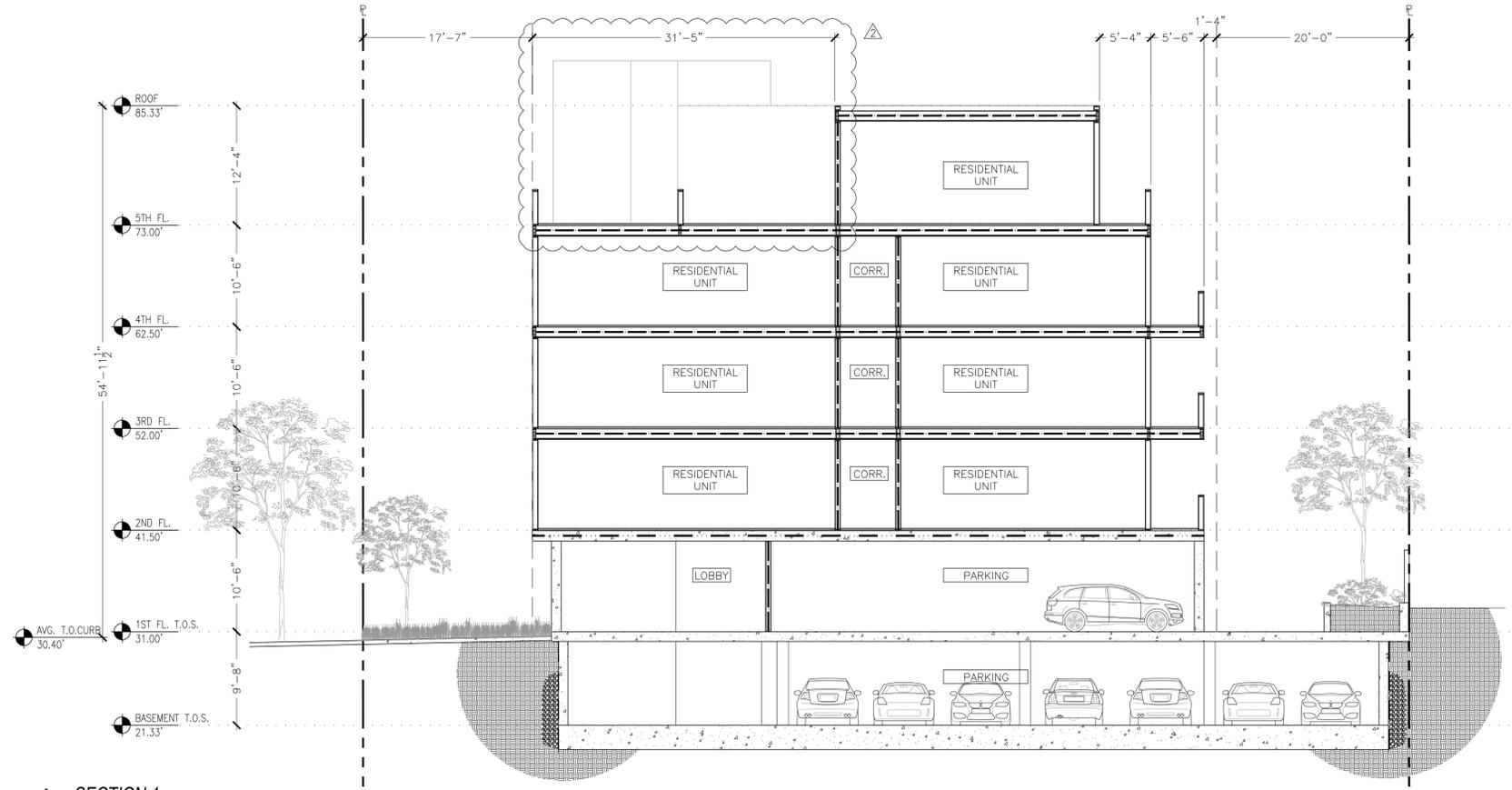
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(415) 777-5117 F

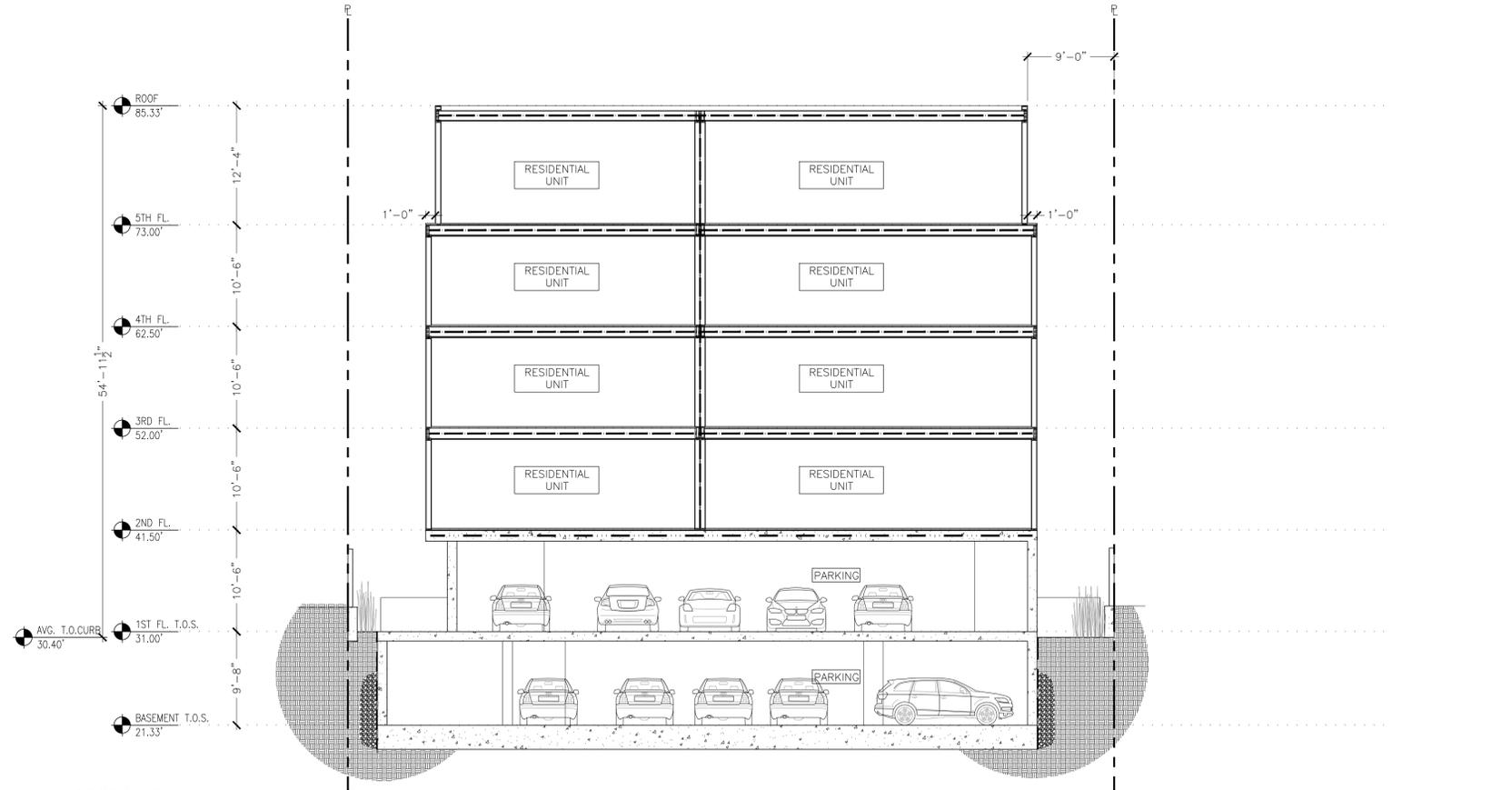
SCALE: AS NOTED

SECTIONS:
BUILDING

A4.1



1 SECTION 1
1/8"=1'-0"



2 SECTION 2
1/8"=1'-0"